

Hanover County, Virginia

Land Use Map

Legend

-  Agricultural
-  Rural Village
-  Suburban Transitional
-  Suburban General
-  Suburban High
-  Multi-Family
-  Commercial
-  Multi-Use
-  Mixed-Use (LC/HR)
-  Mixed-Use (HC/LR)
-  Business-Industrial
-  Industrial
-  Limited Industrial
-  Planned Business
-  Destination Commerce
-  Flood Plain

C-9-15

Selma R. and Randy T. Davis

Rezone A-1 to AR-6
(1 lot family)

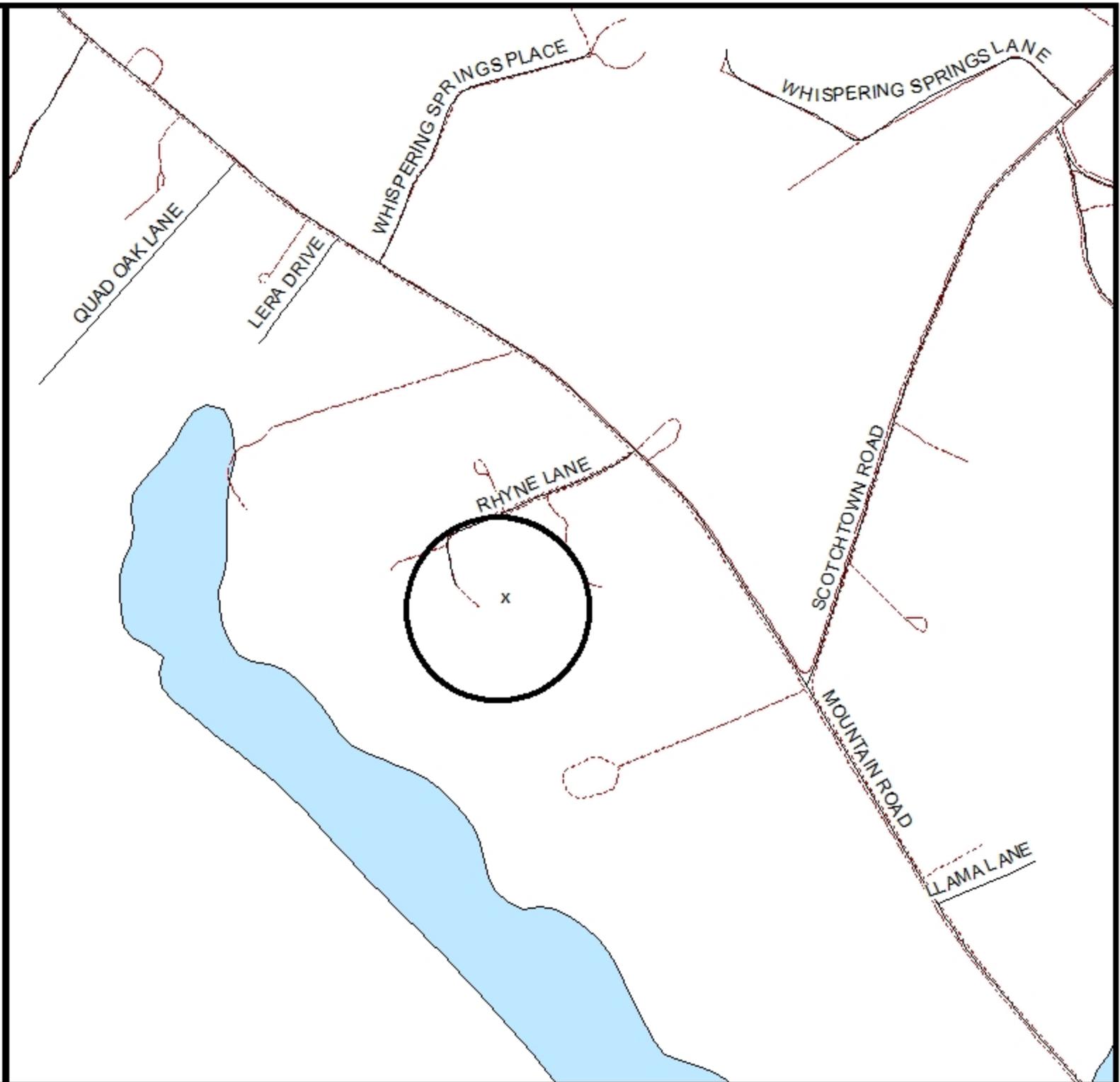
Agricultural Land Use
GPIN: 7830-54-9610

South Anna Magisterial District



1 inch = 700 feet

April 07, 2015



**Hanover County,
Virginia**

General Parcel Map

Legend

- Roads
- - - Water
- - - Trees
- - - Private Road
- Structures
- Parcels

C-9-15

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Rezone A-1 to AR-6
(1 lot family)

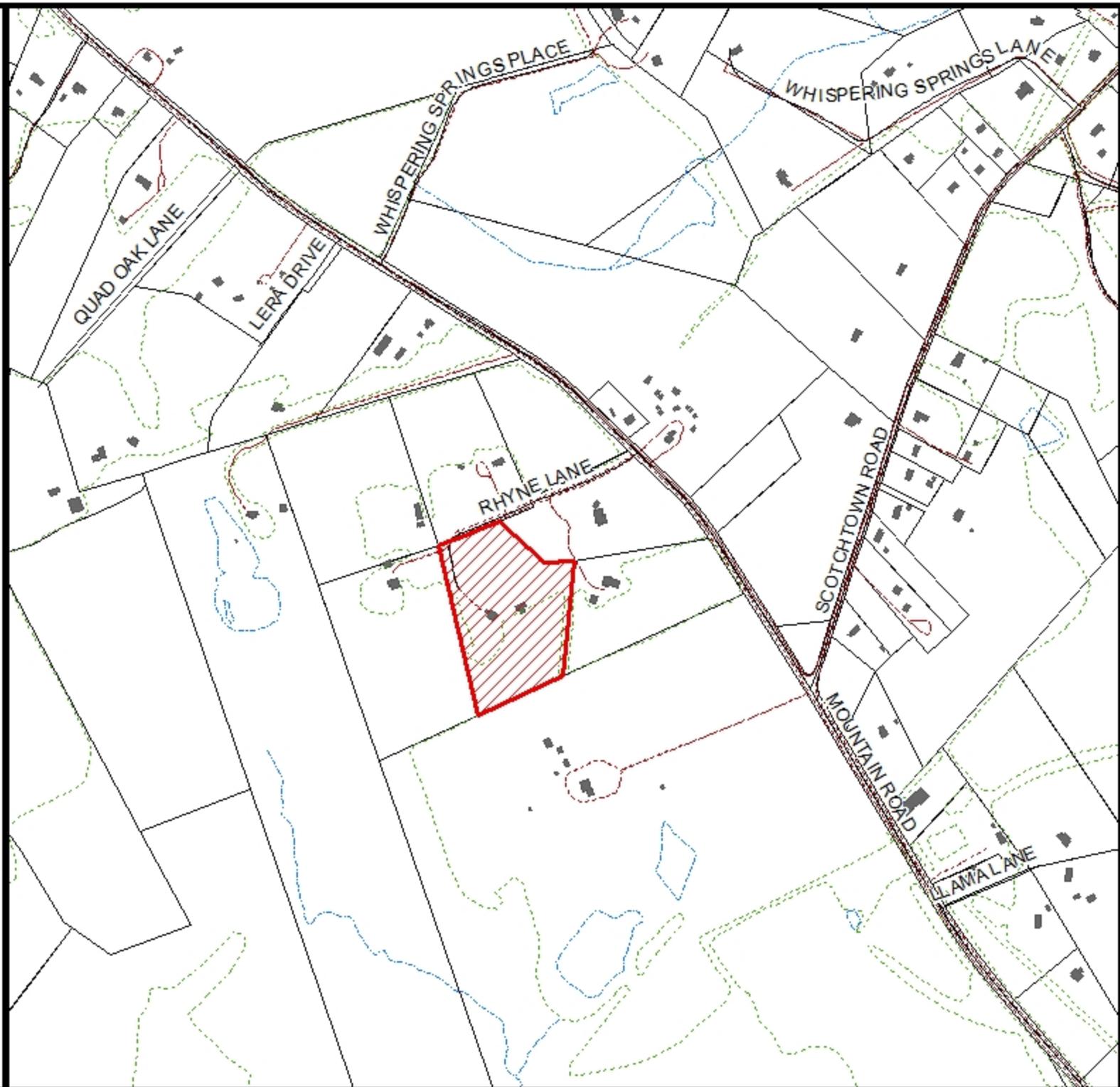
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1 inch = 700 feet

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Hanover County, Virginia

Zoning Map

Legend

— Roads	■ R-4
- - - Water	■ R-5
- - - Private Road	■ R-6
□ Parcels	■ RM
□ CUP	■ MX
□ A-1	■ B-1
■ AR-1	■ B-2
■ AR-2	■ B-3
■ AR-6	■ O-S
■ RC	■ B-0
■ RS	■ M-1
■ R-1	■ M-2
■ R-2	■ M-3
■ R-3	

C-9-15

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Rezone A-1 to AR-6
(1 lot family)

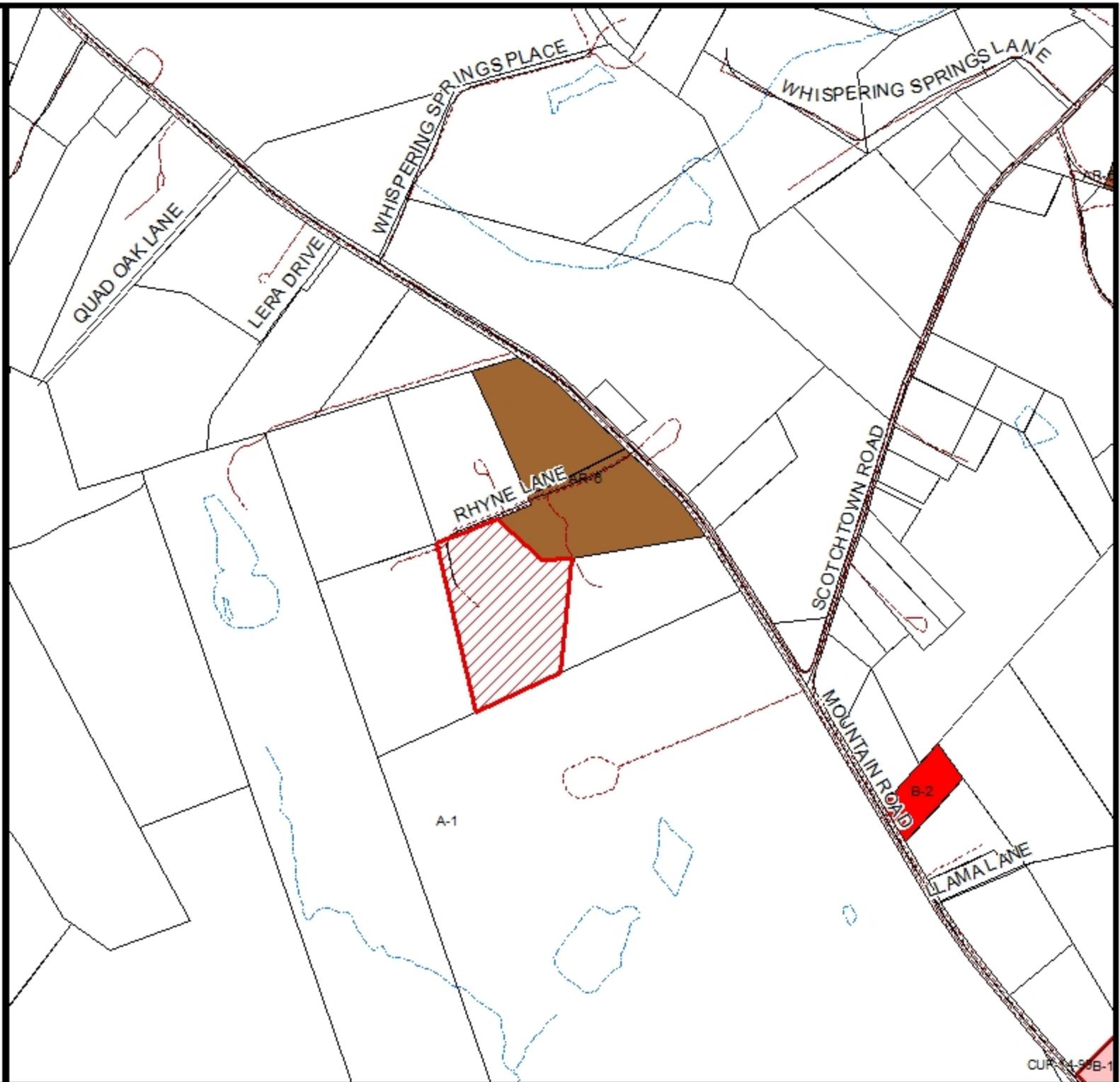
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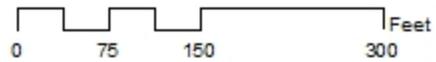


1 inch = 700 feet

April 07, 2015



CUP 1498B-1



C-9-15(c), SELMA R. AND RANDY T. DAVIS

Residential Rezoning Report
South Anna Magisterial District
PC Meeting Date: June 18, 2015



Overview

Current Zoning	A-1, Agricultural District
Requested Zoning	AR-6(c), Agricultural Residential District
Requested Density	One (1) dwelling unit per 5.1 acres
Acreage	10.2 acres
Location	On the south line of Rhyne Lane (private road) approximately 775 feet west of its intersection with Mountain Road (U.S. Route 33)
GPIN	7830-54-9610
General Land Use Plan	Agricultural
Major Thoroughfare Plan	Rhyne Lane – not a major thoroughfare
Suburban Service Area	Outside
Case Planner	Gretchen W. Biernot

Executive Summary

This is a request to rezone to AR-6(c), Agricultural Residential District, to allow for the creation of one additional building lot for a family member. The Board of Supervisors approved a similar request for rezoning (C-1-12(c), Jane Rhyne) on the adjoining property in 2012.

Staff Recommendation

APPROVAL subject to the submitted proffers and conceptual plan, dated June 1, 2015.

Planning Analysis

The applicant has submitted a conceptual plan showing the 10.2 acre subject parcel to be divided into two lots: a 2.19 acre lot and an 8.0 acre lot, which includes the existing house and outbuildings. The applicant intends to create a lot for a family member to build a house as a residence on the property. Both lots shall use the proposed 20’ access easement for ingress and egress that runs along the western property line. The conceptual plan demonstrates that the proposed lots meet the minimum lot size, width, and depth requirements of the Zoning Ordinance. Should this rezoning application be approved, the applicant must submit a family division application for review and approval that is in substantial conformity with the proffered conceptual plan.

This application for AR-6 zoning for one additional lot is consistent with the Agricultural land use designation in the Comprehensive Plan and should have little impact to the existing rural residential character of the area.

Approval of this request could result in one additional dwelling unit. Schools affected are listed below:

School Enrollment Forecast				
Schools Affected	Capacity	2015	2016	2017
South Anna Elementary	730	636	576	551
Liberty Middle	1235	1056	1054	1053
Patrick Henry High	1650	1479	1446	1452

Agency Analysis

There were no substantive comments from any of the reviewing agencies.

Proffers

The applicant has submitted the standard proffers for a rezoning application to allow a family division. These proffers cover the following topics: conceptual plan, tree preservation, wetlands certification, perennality study, and family division with a minimum 3-year residency. Staff recommends approval of the submitted proffers, dated June 1, 2015.

GJWB/sm/HTE

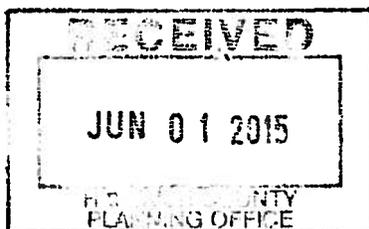
Attachments

- Maps (land use, vicinity, zoning, aerial)
- Historical Commission Recommendation
- Approved Proffers/Elevations/Conceptual Plan
- County Traffic Study
- Application Materials
- Agency Review Comments
- 527 Traffic Study
- Citizen Correspondence
- Photographs
- Proffers /Conceptual Plan

C-9-15(c), Selma R. and Randy T. Davis

The undersigned, Selma R. and Randy T. Davis, owners of parcel designated GPIN 7830-54-9610, (“the Property”), voluntarily agrees for themselves, their agents, personal representatives, successors and assigns (collectively “the Property Owner”) that, in the event the Property is rezoned from A-1 to AR-6, the development and use of the Property shall be subject to the following conditions:

1. Conceptual Plan. The property shall be divided in substantial conformity with the conceptual plan attached, titled “Davis Rezoning Conceptual Plan,” dated June 1, 2015, and prepared by Randy Davis.
2. Tree Preservation. Existing trees of 5 inch caliper or greater on the Property shall not be removed with the exception of dead or diseased trees or parts thereof. This shall not prevent the removal of trees necessary for the construction of improvements, driveways, drainfields, or drainage facilities.
3. Wetlands Certification. The Owner agrees to submit a wetlands certification for the property to the Hanover County Department of Public Works for its review and approval prior to or concurrent with the submission of an application for a Family Division. The Family Division shall not be approved unless the Department of Public Works approves the wetlands certification.
4. Perenniality Study. The Owner agrees to submit a perenniality study for the property to the Hanover County Department of Public Works for its review and approval prior to or concurrent with the submission of an application for a Family Division. The Family Division shall not be approved unless the Department of Public Works approves the perenniality study.
5. Family Division. The Property shall only be divided for family, in accordance with Chapter 25, Article II, Division 5 of the Hanover County Code. The family member to whom the property was sold or given shall hold title to and reside on the newly created lot for at least three (3) years following the issuance of a Certificate of Occupancy, unless the lot is the subject of an involuntary transfer caused by foreclosure, death, judicial sale, condemnation, or bankruptcy.



Randy Davis
6/1/15
6/1/15



Randy T. Davis

6/11/15

Date



Selma R. Davis

6/11/15

Date

COMMONWEALTH OF VIRGINIA,
COUNTY OF HANOVER, to-wit:

I, _____, do hereby certify that Randy T. Davis and Selma R. Davis have acknowledged the foregoing Proffers before me, this ____ day of _____, 2015.

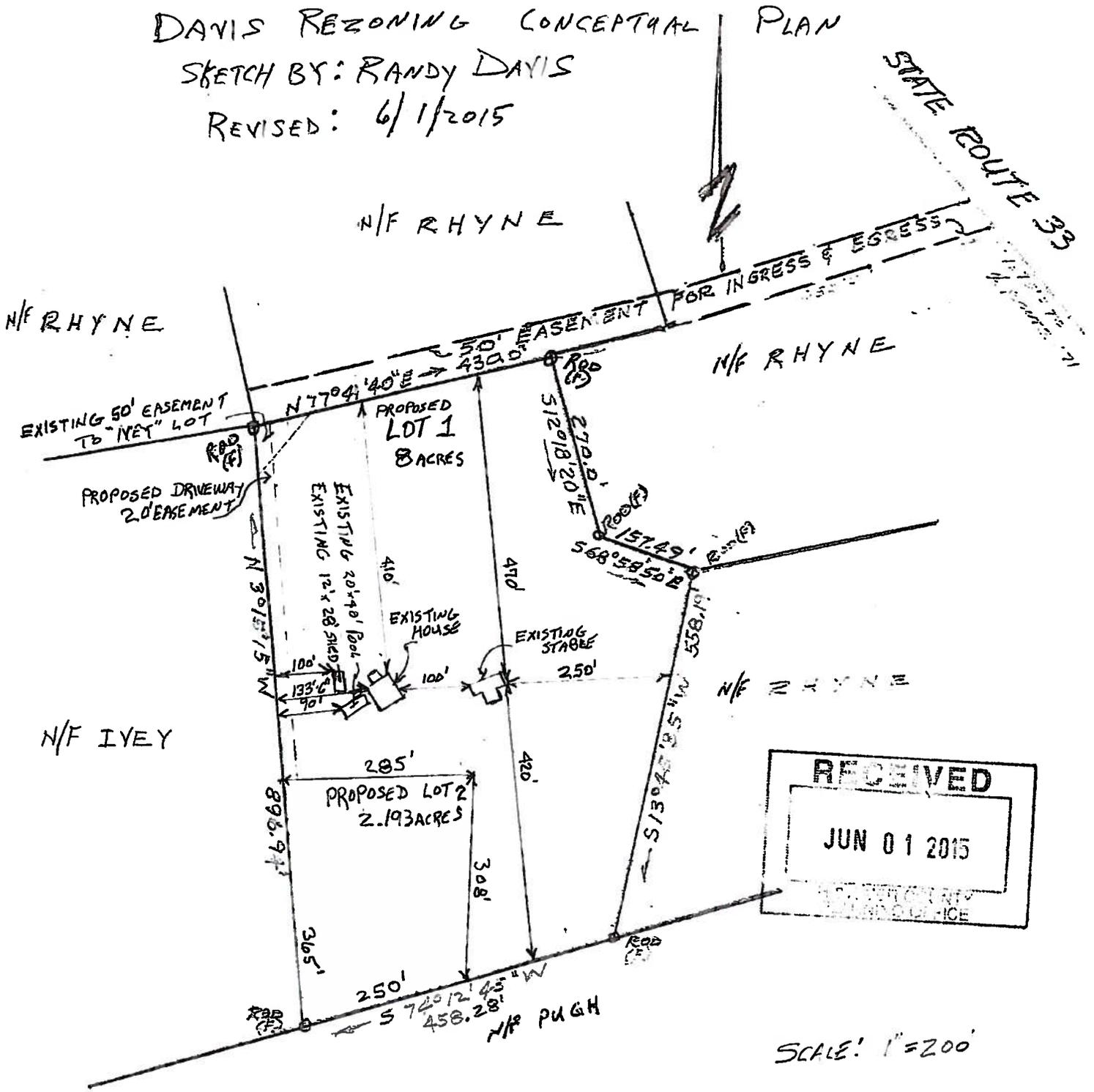
Notary Public (SEAL)

My Commission Expires: / /
My commission ID#: _____

DAVIS REZONING CONCEPTUAL PLAN

SKETCH BY: RANDY DAVIS

REVISED: 6/1/2015



RECEIVED
 JUN 01 2015
 LOUDOUN COUNTY POLICE

SCALE: 1" = 200'

COMPOSITE PLAT SHOWING THE DIVISION OF A TEN ACRE TRACT OF LAND IN THE SOUTH ANNA DISTRICT OF HANOVER COUNTY, VA., STANDING IN THE NAME OF RANDY T. & SELMA R. DAVIS. COMPILED FROM A PLAT AS SURVEYED BY KENNETH COX, DATED JAN. 30, 1985