

Hanover County, Virginia

Land Use Map

Legend

- Agricultural
-  Rural Village
-  Suburban Transitional
-  Suburban General
-  Suburban High
-  Multi-Family
-  Commercial
-  Multi-Use
-  Mixed-Use (LC/HR)
-  Mixed-Use (HC/LR)
-  Business-Industrial
-  Industrial
-  Limited Industrial
-  Planned Business
-  Destination Commerce
-  Flood Plain

C-9-13

Hanover Land Investors, L.L.C.

Rezone A-1 to B-1 & RM

Commercial & Suburban High
Land Use

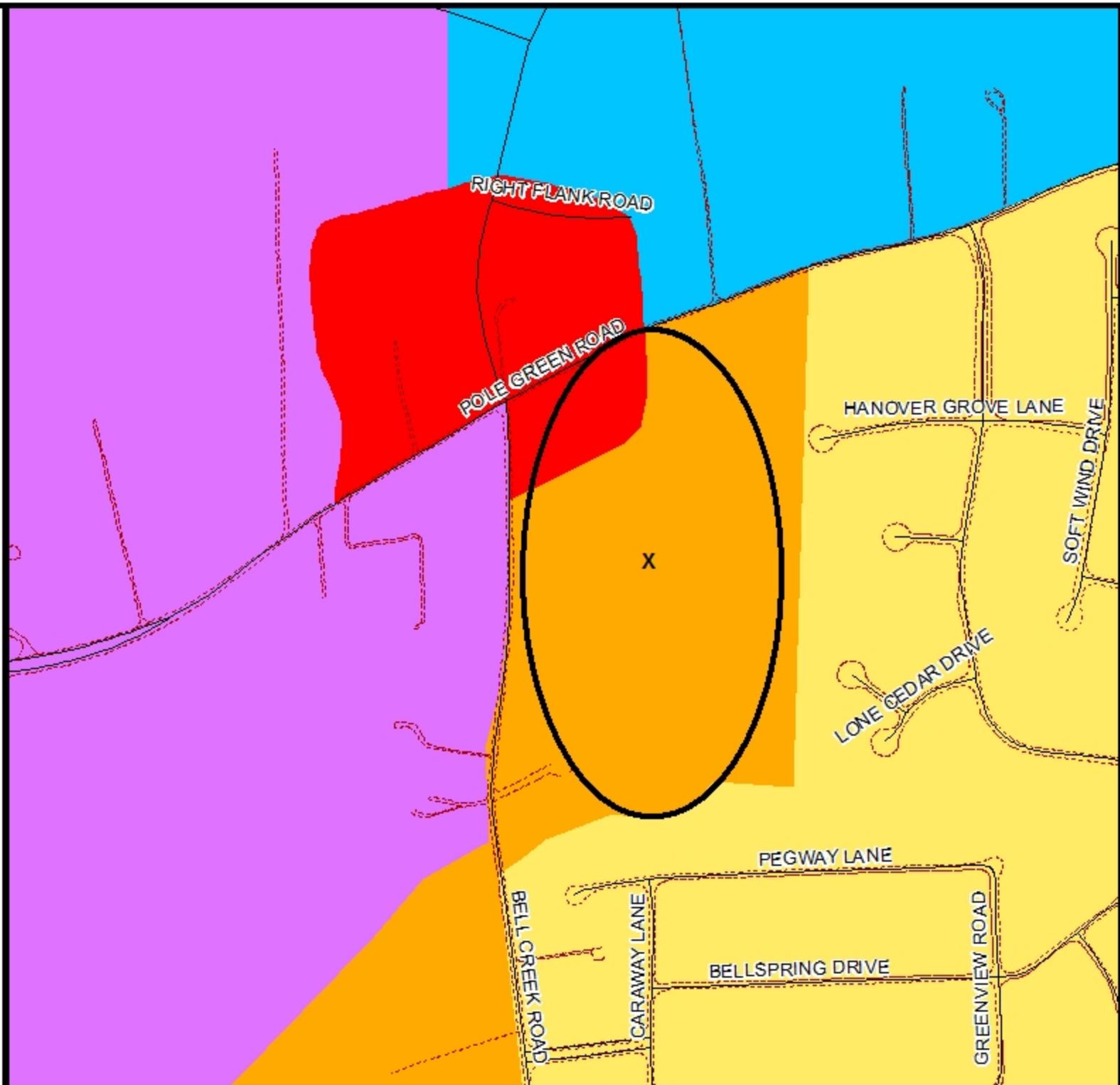
GPIN's: 8715-45-2556; 8715-45-5685;
8715-45-4972 & 8715-45-8101

Mechanicsville Magisterial District



1 inch = 500 feet

February 25, 2014



**Hanover County,
Virginia**

General Parcel Map

Legend

- Roads
- Water
- - - Trees
- - - Private Road
- Structures
- Parcels

C-9-13

Hanover Land Investors, L.L.C.

Rezone A-1 to B-1 & RM

Zoned A-1

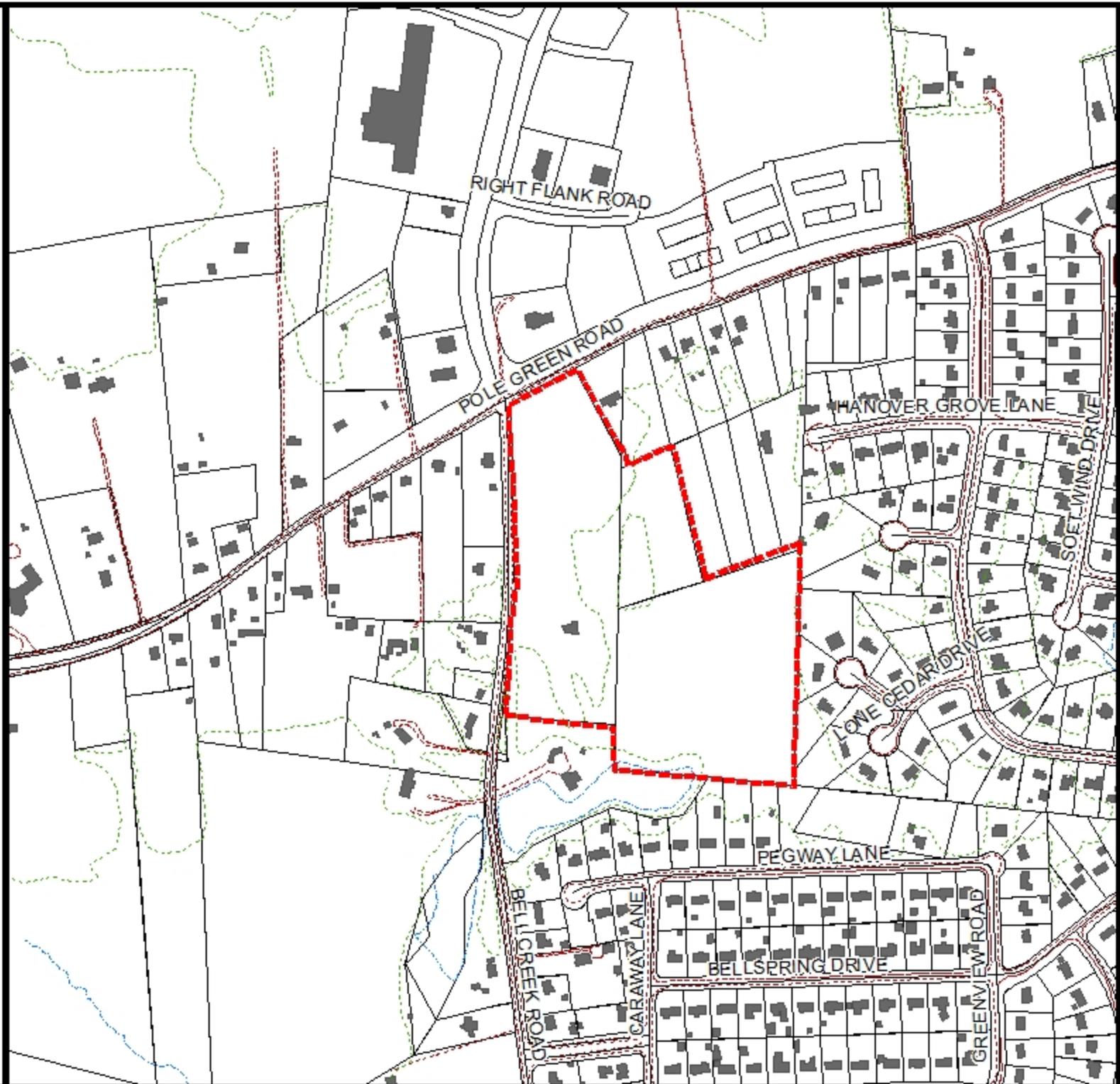
GPIN's: 8715-45-2556; 8715-45-5885;
8715-45-4972 & 8715-45-8101

Mechanicsville Magisterial District



1 inch = 500 feet

September 04, 2013



Hanover County, Virginia

Zoning Map

Legend

— Roads	■ R-4
- - - Water	■ R-5
- - - Private Road	■ R-6
□ Parcels	■ RM
□ CUP	■ MX
□ A-1	■ B-1
□ AR-1	■ B-2
□ AR-2	■ B-3
□ AR-6	■ O-S
□ RC	■ B-0
□ RS	■ M-1
□ R-1	■ M-2
□ R-2	■ M-3
□ R-3	

C-9-13

Hanover Land Investors, L.L.C.

Rezone A-1 to B-1 & RM

Zoned A-1

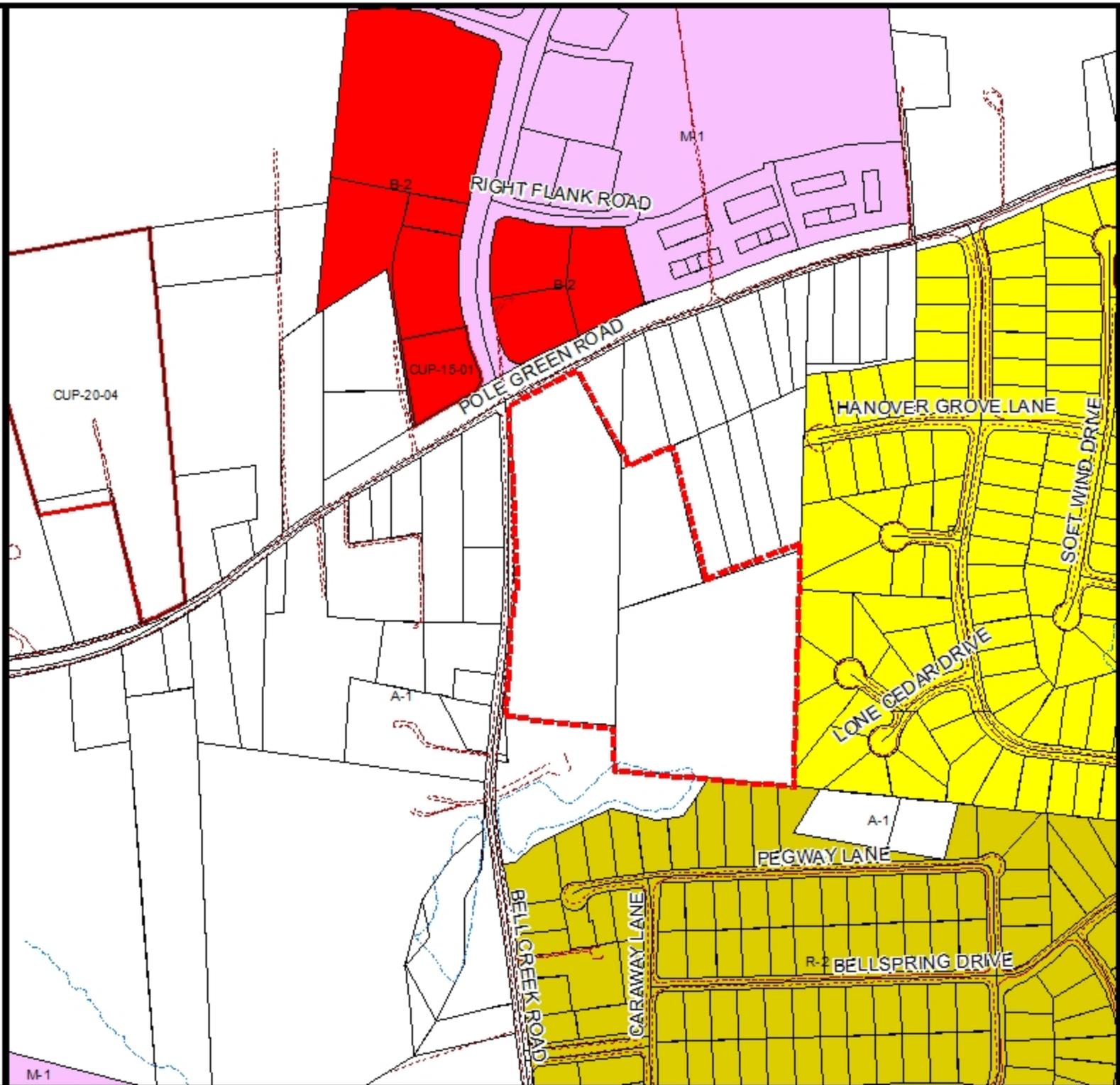
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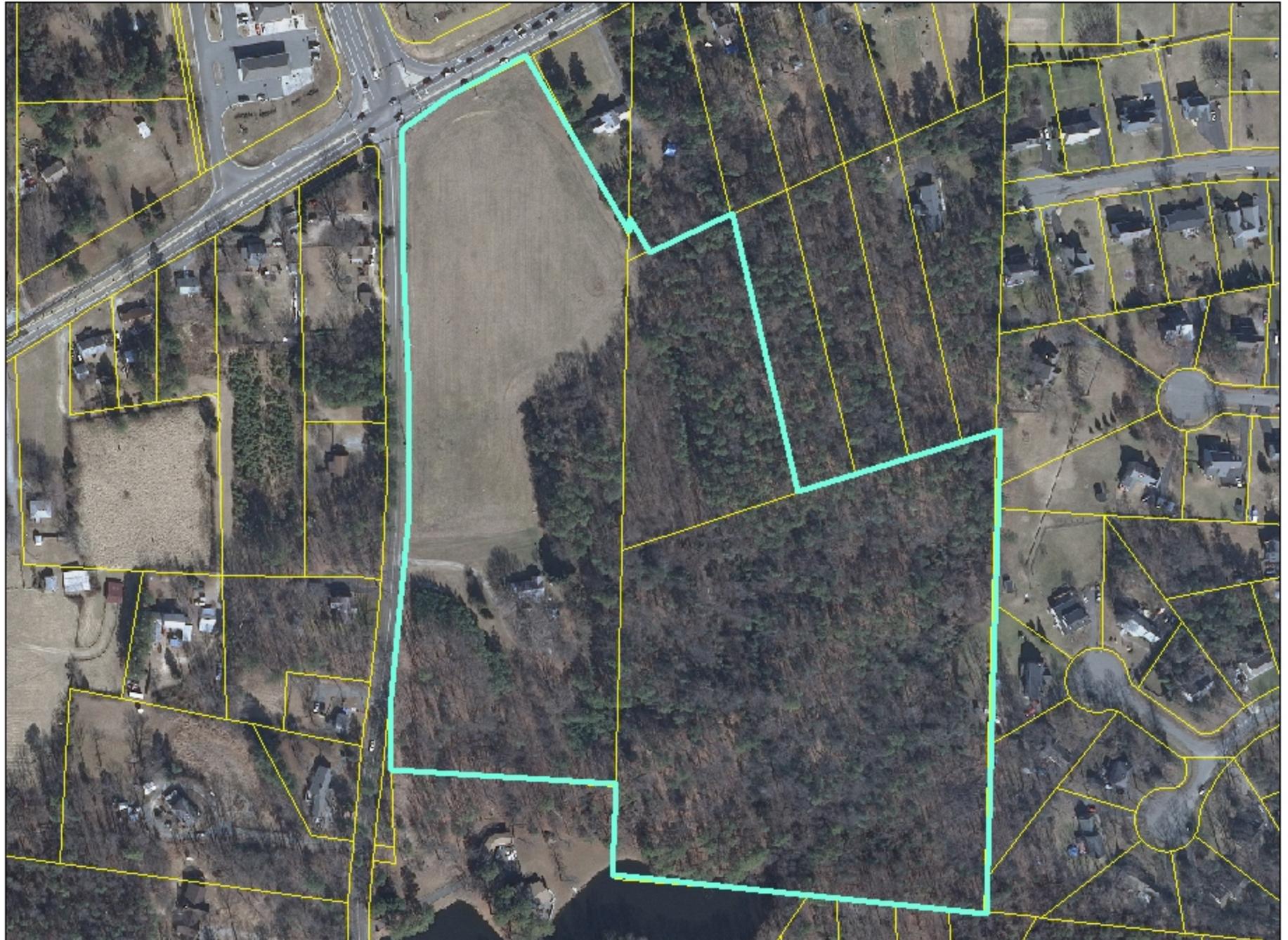
Mechanicsville Magisterial District



1 inch = 500 feet

September 04, 2013





C-9-13(c), HANOVER LAND INVESTORS, L.L.C.

Residential and Commercial Rezoning Report
Mechanicsville Magisterial District
PC Meeting Date: May 15, 2014



Overview

Current Zoning	A-1, Agricultural District
Requested Zoning	RM(c), Multi-Family Residential District with conditions B-1(c), Neighborhood Business District with conditions
Requested Density	121 building lots for a gross density of 5.52 dwelling units per acre
Acreage	25.45 acres
Location	In the southeast quadrant of the intersection of Pole Green Road (State Route 627) and Bell Creek Road (State Route 642)
GPINs	8715-45-2556, 8715-45-5685, 8715-45-4972, 8715-45-8101
General Land Use Plan	Commercial and Suburban High (4-8 dwelling units per acre)
Major Thoroughfare Plan	Pole Green Road, Bell Creek Road – Major Collector (100' right-of-way)
Suburban Service Area	Inside
Case Planner	Gretchen W. Biernot

Executive Summary

This is a request to rezone 22.11 acres to RM(c), Multi-Family Residential District with conditions and 3.33 acres to B-1(c), Neighborhood Business District with conditions at the southeast corner of Pole Green and Bell Creek Roads. 121 dwelling units are proposed on the RM portion of the property, which provides a density of 5.52 units per acre. A conceptual plan and elevations have been submitted to demonstrate that the development meets RM District and subdivision preliminary plat requirements.

Staff Recommendation

APPROVAL subject to the submitted proffers, dated May 1, 2014, conceptual plan and elevations, dated September 3, 2013, and revised April 29, 2014.

Planning Analysis

The conceptual plan of the 25.45 acre site shows 3.33 acres to be rezoned to B-1 and 22.11 acres to be rezoned to RM. Because the use of the B-1 site is speculative, this part of the plan only shows the proposed entrances to both Pole Green Road and Bell Creek Road. The RM portion of the property shows 48 single-family detached units and 73 townhouse units along with the required common open space areas.

RM District Requirements

The required conceptual plan and elevations submitted by the applicant address the development standards of the RM zoning district. For projects with a density of less than 8 units per acre, the ordinance requires at least 20% of the net acreage to be placed in common area with at least 25% of this area reserved for active recreation. The minimum open space required is 4.38 acres, and 8.11 acres has been provided with this plan. The plan shows 1.20 acres of active recreation area provided, which only slightly exceeds the requirement of 1.10 acres. The RM Ordinance requires that the common area be directly accessible to the lots within the district. Sidewalks align both sides of the roads in both the single-family detached and townhouse sections, which connect to walking trails to provide safe and convenient access to the common areas. The design of the common area incorporates active and passive recreation without interfering with the dwelling units and roads, in accordance with the RM common area standards. Recreation areas include a playground and multi-use field within the center of the development. Walking trails and exercise stations are also shown within common areas along the western and southern sections of the property. To help buffer and separate the lots from the recreation areas, additional landscaping consisting of trees and shrubs have been provided.

The single-family detached section shall be served by public roads, and the roads in the townhouse section are shown to be privately maintained. Many of the streets terminate in views of common areas, which is also encouraged by the RM design standards. Tree plantings are shown to align the streets as well as to be grouped within the common areas to meet the street tree requirements. Typical landscaping details on the plan demonstrate that suitable trees and shrubs will be provided. In addition, the required 50' landscaped thoroughfare buffer has been provided along Bell Creek Road, and entrance lighting is shown at both entrances, located outside of the sight distance triangles.

Transportation

Kimley-Horn, the County's traffic consultant, prepared a traffic analysis, which included a review of both the commercial and residential sections of the proposed development. The analysis considers the impacts to the Bell Creek Road/ Pole Green Road intersection as well as the proposed entrances to the site. A single right-in/right-out entrance is proposed on Pole Green Road to the B-1 site. There are two entrances proposed on Bell Creek Road: the northernmost entrance being right-in/right-out only and the southernmost entrance providing full movement. The analysis also takes into consideration that the applicant has proffered to limit the use of the B-1 property to those uses generating no more than 1,881 daily vehicle trips and 185 PM peak hour trips.

The traffic analysis recommended the following road improvements:

RM Section

- Replace traffic signal heads and optimize traffic signal timings at the Bell Creek Road/Pole Green Road intersection.
- On northbound Bell Creek Road, restripe the northbound approach to consist of one exclusive left-turn lane and one shared through/right-turn lane. The right-turn overlap phase should be removed.
- Remove the U-turn restriction for the exclusive left-turn lane on westbound Pole Green Road.
- At the proposed north driveway westbound onto Bell Creek Road, one ingress and one egress lane consistent with VDOT standards should be constructed.
- At the proposed south driveway westbound onto Bell Creek Road, one ingress and one egress lane consistent with VDOT standards should be constructed.

In addition, VDOT has recommended a southbound left-turn lane be constructed at the full-movement entrance on Bell Creek Road.

B-1 Section

- On eastbound Pole Green Road, one exclusive right-turn lane should be constructed. The turn lane and taper should be constructed to maximize available storage while limiting impacts to the Pole Green Road/Bell Creek intersection.
- At the proposed driveway westbound on Pole Green Road, one ingress and one egress lane consistent with VDOT standards should be constructed.

The traffic analysis also indicates that the VDOT access management requirements for the Pole Green Road entrance have been met. VDOT has commented that an entrance spacing waiver may be necessary. VDOT approval of all entrance locations is required prior to site plan approval.

The construction of the recommended road improvements should address the impacts of the proposed commercial and residential development and restore traffic movements at the Pole Green and Bell Creek Roads intersection to a Level of Service (LOS) D or better, which is the County's minimum standard. The applicant has proffered the construction of all recommended road improvements and has also agreed to a road cash proffer of \$2,306.00 per residential unit to be used in completing off-site road improvements.

Comprehensive Plan

The proposed B-1 and RM zoning districts for the subject property are consistent with the General Land Use Plan Map in the Comprehensive Plan. The property is designated for Commercial use at the corner of Pole Green and Bell Creek Roads and Suburban High (4-8 units per acre) for the remaining acreage.

This request achieves the following objectives of the Comprehensive Plan:

- *Promote the interconnection of communities to enhance vehicular, bicycle, and pedestrian circulation and reduce demand along existing and proposed thoroughfares*

A road stub has been provided at the northern property line to allow for road connections to future development. The proposed community is designed to be pedestrian and bicycle friendly with safe and convenient access to sidewalks and trails. Residents in this community will be able to walk along the sidewalks as well as use the internal road for vehicular access to the future B-1 use at the corner of this development.

- *Ensure provision of adequate and safe vehicular access to thoroughfares*

As discussed in the transportation section of this report, the applicant has proffered to construct all road improvements recommended by the Kimley-Horn traffic impact analysis and VDOT to ensure the safety of the proposed entrances and the Bell Creek Road/Pole Green Road intersection.

- *Ensure provision of contiguous open space designed for passive and active recreation that is conveniently and centrally located for residents, and encourage the preservation of cultural resources and environmental features such as wetlands and Resource Protection Areas, scenic viewsheds, and existing trees/vegetation*

The conceptual plan demonstrates how this strategy has been achieved through the placement of convenient and contiguous open space throughout the development. The applicant has attempted to minimize the impact to the wetlands and has provided various measures to protect the pond, which is both on the subject property and the adjacent property to the south. Protective features of the common area adjacent to the pond include tree preservation areas, a landscaped berm, and walking trails to be constructed of porous pavement.

- *Ensure land uses are harmonious with surrounding uses and residential density and non-residential uses should transition appropriately to adjoining uses; Support new planned neighborhood commercial districts that serve but do not conflict with surrounding residential areas*

Adjacent to the subject property to the south and east are older R-1 and R-2 subdivisions (Hanover Grove, 1989 and Meadowgate, 1967), which were constructed at densities of 2-3 units per acre. The density of the proposed subdivision is 5.5 units per acre, which is consistent with the Comprehensive Plan. Common area where existing trees will be preserved surrounds the proposed lots on the south and the east lines, adjacent to these subdivisions. In addition, the single-family detached units that will be placed on the larger lots are located adjacent to these areas before transitioning to the townhouse and commercial sections of the property. The applicant has also selected B-1 zoning for the corner, which is a neighborhood business district that allows for less intense uses than other business districts.

- *Promote variation in building elevations through diverse but complementary architectural forms, materials, colors, and texture*

A variety of building elevations have been submitted as part of the conceptual plan, which show a diverse use of materials and architectural styles.

- *Strive for efficient land use and utilization of public utilities by supporting densities at the higher end of the recommended ranges*

This strategy is not achieved as the proposed density of 5.5 units per acre is at the lower end of the 4-8 unit per acre range of the Suburban High designation. However, this density is appropriate, considering the sensitive environmental features of the property and the compatibility of the development with adjacent subdivisions.

Citizen Input

The applicant held community meetings on January 27, 2014, and February 27, 2014, and citizens have provided comments in writing and before the Planning Commission and Board of Supervisors at Citizen's Time. Issues raised included the following:

- Concerns about increased traffic and safety of proposed entrances on both Pole Green and Bell Creek Roads

The traffic impact and the safety of the proposed entrances have been examined by the County's traffic consultant, VDOT, and the applicant's engineer. The applicant has proffered to install all traffic improvements recommended by the traffic analysis and VDOT. Sight distance has been reviewed by the applicant's engineer, and the necessary sight distance easements are in the process of being recorded to ensure the safety of proposed entrances.

Concern was also specifically expressed over the impact of the increased traffic on Bell Creek Road and the Sandy Lane/ Mechanicsville Turnpike intersection. A VDOT road project is scheduled to begin construction in 2015, which should alleviate concerns about this intersection. Sandy Lane will ultimately become a right-in/right-out intersection on Mechanicsville Turnpike, and a new Bell Creek Road/Mechanicsville Turnpike intersection will be constructed.

- Density and compatibility of the surrounding community

Neighbors have expressed concern with the overall density of the proposed residential community and the size of the lots compared with the existing lots surrounding this development. Most of the adjacent subdivision lots are adjoining the common area where existing trees shall remain preserved. The closest lots proposed adjacent to the existing subdivisions are for the single-family detached units, which shall be built on larger lots that transition to an area with higher density in the townhouse section. In addition, the Comprehensive Plan designates this area for Commercial at the corner and Suburban High, 4-8 units per acre for the remaining property. The density proposed is 5.5 units per acre, which is at the lower end of the range. The applicant has chosen not to maximize the density on this site.

- Environmental impacts on the surrounding community, including the existing pond to the south

To help address concerns about the development's impact on the pond, the applicant has proffered that the development will be designed to meet the new stormwater management standards that go into effect on July 1, 2014. The applicant has attempted to minimize impacts to the wetlands, and the plan will be subject to approval by the U.S. Army Corps of Engineers. Common area is shown directly adjacent to the property to the south. Within this common area, many of the trees are shown to be preserved. Adjacent to the pond itself, a landscaped berm is shown surrounding the fitness area to offer additional protection. In addition, the walking paths shown throughout the common area will be constructed using porous pavement to help reduce stormwater runoff and improve water quality by filtering pollutants. The stormwater management system design shall require review and approval by the Department of Public Works.

The owner of the property where the majority of the pond is located has been actively working with the applicant to address the development's impacts to the pond. This property owner has provided several comments on different iterations of the conceptual plan. Because of the protective measures provided on the latest conceptual plan, this property owner has indicated that she no longer opposes this request.

- Potential Natural Heritage site

The County's Geographic Information Systems (GIS) contains a layer for Natural Heritage sites in the County. Natural Heritage sites are those areas containing rare, endangered, or threatened species of plants and animals. Staff has verified that the subject property does not contain any Natural Heritage areas.

- Impacts to crowded schools

The following chart summarizes existing and projected capacity at the schools which will serve this site.

Population Increase				
General Population	121 units	x	2.68 (avg. persons per household)	= 324 persons
School Children	324 persons	x	20% (avg. % of children per pop.)	= 65 children

School Enrollment Forecast				
Schools Affected	Capacity	2014 Attendance	2016	2017
Laurel Meadow Elementary	775	655 (83% capacity)	639	634
Stonewall Jackson Middle	1235	1133 (98% capacity)	1091	1062
Lee-Davis High	1650	1585 (96% capacity)	1552	1532

Agency Analysis

Agency	Comment Summary
Public Works	Wetlands permit is subject to approval by the US Army Corp of engineers. New stormwater requirements must be addressed. Impacts to downstream ponds will require engineering analysis.
Public Utilities	Sanitary sewer is available in the Hanover Grove Subdivision. Sewer should be designed to allow a future extension to the Kyoko property across Bell Creek Road. Two independent water supply points shall be required. Water must be extended to the limits of the project site. Water and sewer design is subject to approval by DPU.
VDOT	An entrance waiver for the Pole Green Road entrance may be necessary.

Proffers

The applicant submitted a draft proffer document on May 1, 2014. Staff recommends approval of the following proffers:

RM Proffers:

1. Cash Proffers. – The standard proffer language has been submitted for a cash proffer in the amount of \$2,306.00 to address impacts to the thoroughfare network.
2. House Size. – Minimum house sizes for both detached and attached units have been proffered.
3. Foundations. – Foundation materials have been proffered.

B-1 Proffers:

4. Use Restrictions. B-1 uses are limited to those generating less than 1,881 daily vehicle trips and 185 PM peak hour trips.
5. Conceptual Plan. The applicant has proffered to develop the entrances on the B-1 property in substantial conformity with the conceptual plan. The conceptual plan for the residential portion of the development is required to be submitted and approved as part of the RM zoning.
6. Architectural Treatment. The applicant has proffered quality architectural materials to be used.
7. HVAC Units. All mechanical units shall be screened.
8. Monument Signs. All commercial signage shall be monument style, and sign materials shall be compatible with the proposed structure.
9. Dumpsters. Dumpster screening materials have been proffered.

10. Parking Lot Lighting. Light poles are limited to 25' in height. The maximum height for the B-1 district would otherwise be 45'.

Proffers applicable to the entire property:

11. Road Improvements. The applicant has agreed to construct all road improvements recommended by the traffic impact analysis and VDOT.
12. Right-of-way Dedication. Standard right-of-way dedication proffer language has been submitted for Bell Creek Road. The necessary right-of-way already exists along Pole Green Road and at the intersection of Pole Green and Bell Creek Roads.
13. Stormwater Facilities. The stormwater design shall be in compliance with the new state stormwater regulations that go into effect on July 1, 2014.

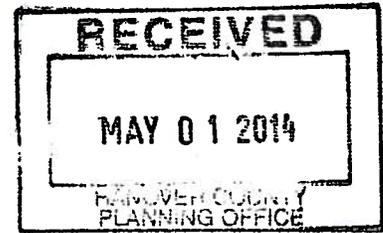
GJWB/sm/HTE

Attachments

- Maps (land use, vicinity, zoning, aerial)
- Historical Commission Recommendation
- Approved Proffers/Elevations/Conceptual Plan
- County Traffic Study
- Application Materials
- Agency Review Comments
- 527 Traffic Study
- Citizen Correspondence
- Photographs
- Proffers /Conceptual Plan

Case C-9-13

May 1, 2014



PROFFERS APPLICABLE TO THE R-M PROPERTY:

1. Cash Proffers. The Property Owner, for itself, and its successors and assigns, agrees to pay Hanover County prior to issuance of a Certificate of Occupancy, the amount of Two Thousand Three Hundred Six and 00/100 (\$2,306.00) per single family unit built on the R-M zoned Property. The funds shall be used for the purpose of completing off-site road improvements relating to the development allowed by the rezoning and included in the Business and Residential Development Road Improvements Transportation Policy, adopted March 13, 2013. In the event funds are paid and are not used for such improvements, the County shall return the funds paid to the Owner or his successors in title.
2. House Size. Minimum house sizes shall be 1,800 square feet for the single family detached and 1,200 square feet for the single family attached dwelling units. The calculation of minimum floor area shall not include floor area devoted to garages or breezeways in any category. Floor area shall be measured along the exterior walls of the structure.
3. Foundations. The exterior of all foundations of homes shall have an exterior of brick or stone.

PROFFERS APPLICABLE TO THE B-1 PROPERTY:

4. Use Restrictions. No use on the B-1 Property shall generate more than 1,881 daily trips and 185 PM peak hour trips, as determined by the most recent edition of International Traffic Engineers (ITE) Trip Generation report.
5. Conceptual Plan. The entrances to the B-1 area shall be developed in substantial conformity with the conceptual plan, titled "Hanover Land Investors – The Meadows at Bell Creek Rezoning," dated September 3, 2013, revised April 29, 2014, and prepared by Resource International.
6. Architectural Treatment. The exterior wall surfaces (front, rear and sides) of any building on the B-1 Property shall be similar in architectural treatment and materials. The building constructed on the property shall have exposed exterior walls (above finished grade) of face brick, natural stone, glass stucco, drivit, exposed aggregate concrete or an equivalent permanent architecturally finished material. No portion of an exterior wall surface visible from any adjoining property shall contain painted or untreated concrete masonry units, sheet or corrugated aluminum or metal, except that metal and/or aluminum may be incorporated for window and decorative treatments. All elevations shall be approved by the Director of Planning prior to Site Plan approval.

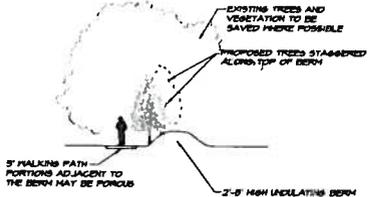
7. HVAC Units. Any mechanical units on the B-1 Property shall be screened, and if on the roof, screened by architectural features which are compatible with the building façade architecture. Screening shall be designed so as to block such units from view by persons on any public streets immediately adjoining the B-1 Property, or from adjacent residential uses. The method of screening shall be submitted at the time of site plan review.
8. Monument Signs. All freestanding multi-use signs on the B-1 Property shall be monument type, and shall include materials and designs that are compatible with the proposed materials and architectural theme of the proposed structure.
9. Dumpsters. Dumpsters on the B-1 Property shall be screened with an opaque fence or screening wall so as not to be visible by persons on any public streets immediately adjoining the Property, or from adjacent residential uses.
10. Parking Lot Lighting. Light poles in the parking lot located on the B-1 Property shall be no taller than twenty-five (25) feet.

PROFFERS APPLICABLE TO THE R-M and B-1 PROPERTY:

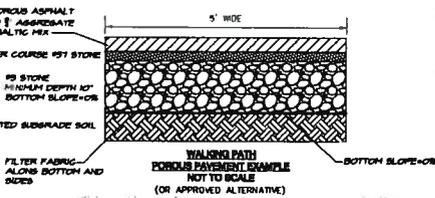
11. Road Improvements – The Owners agree to construct the following:
 - A. RM Property. The following road improvements shall be bonded as a subdivision improvement with the first section:
 - a. The existing split-phased operations shall be re-phased to standard NEMA phasing (i.e., protected left-turns with concurrent through movements), which shall include replacing existing four-section and five-section signal heads with 3-three-section signal heads (one for the left-turn movement signal phase and two for the through movement signal phase)
 - b. The traffic signal timings at the Bell Creek/Pole Green Road intersection shall be optimized.
 - c. The northbound approach along Bell Creek Road shall be restriped to consist of one exclusive left-turn lane and one shared through/right-turn lane. The right-turn overlap phase shall be removed.
 - d. On westbound Pole Green Road, the u-turn restriction for the exclusive left turn lane shall be removed.
 - e. A southbound left-turn lane on Bell Creek Road shall be constructed at the full-movement entrance.
 - B. B-1 Property. The following road improvement shall be shown on the site plan and constructed prior to the issuance of a Certificate of Occupancy:
 - a. An exclusive right-turn lane shall be constructed on Pole Green Road at the proposed commercial entrance. The proposed turn lane and taper should be constructed to maximize available storage while limiting impacts to the Pole Green Road/Bell Creek Road intersection.

All such improvements noted above shall be designed and constructed in accordance with VDOT standards and specifications.

12. Right-of-way Dedication. The Property Owner agrees to dedicate fifty (50) feet of right-of-way from the centerline of Bell Creek Road (State Route 642) to the Property for future road widening, free of cost to the County, upon request of the County or VDOT.
13. Stormwater Facilities. Stormwater quality design for this development shall be compliant with 9VAC25-870-65, Water quality compliance, of the Virginia Stormwater Management Program (VSMP) Regulations, which will be effective July 1, 2014.



WALKING TRAIL AND LANDSCAPE BERM EXAMPLE
NOT TO SCALE



WALKING PATH POROUS PAVEMENT EXAMPLE
NOT TO SCALE
(OR APPROVED ALTERNATIVE)

THOROUGHFARE BUFFER SHALL BE LANDSCAPED IN ACCORDANCE WITH HANOVER COUNTY STANDARD 28-284

VIRGINIA POWER EASEMENT DB 2076, PG 186

PROPOSED TURN LANE TO BE DEMONSTRATED IN THE SITE PLAN STAGE

BELL CREEK ROAD S.R. 642

30' ENTRANCE RIGHT IN AND RIGHT OUT ONLY

B-1 COMMERCIAL AREA (3.33 ACRES)

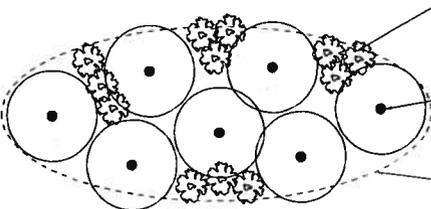
PROPOSED ENTRANCE LIGHT SHIRT DISTANCE TRIANGLE

VIRGINIA POWER EASEMENT DB 2428, PG 234

BELL CREEK ROAD (R.R. 842) VARIABLE WIDTH RIGHT OF WAY 45 MPH

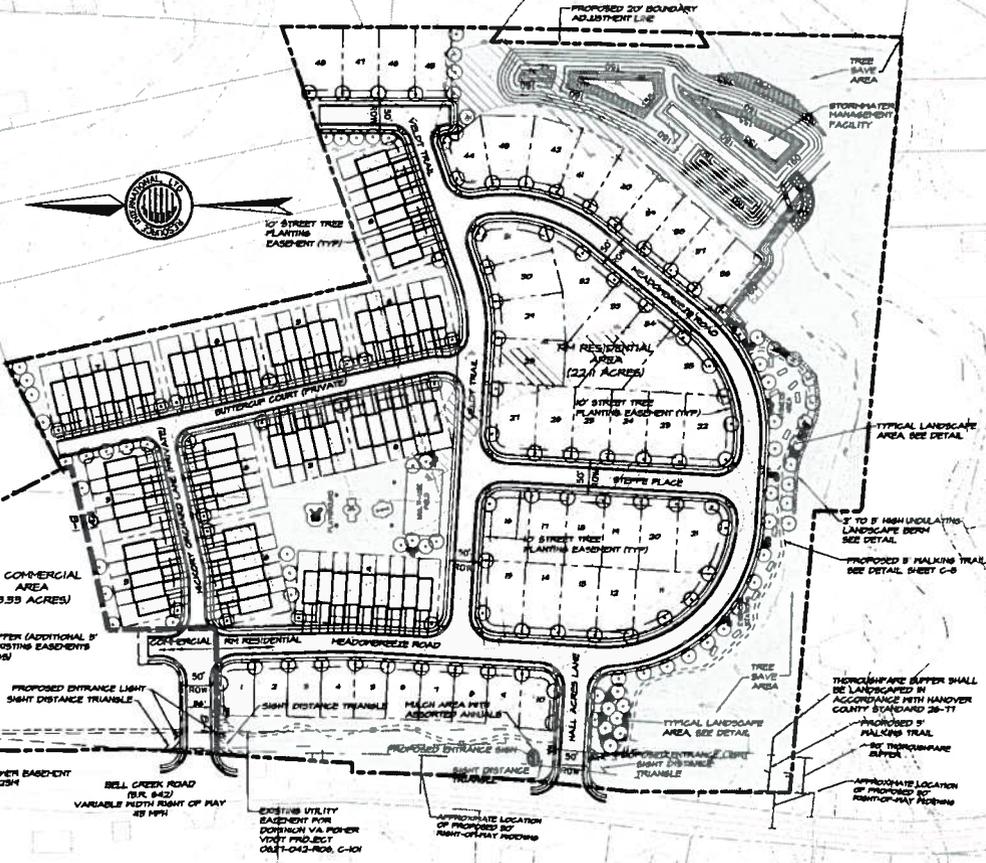
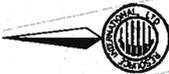
EXISTING UTILITY EASEMENT FOR JOINTOWN VA. POWER W/OUT PROJECT 0817-042-R06, C-101

APPROPRIATE LOCATION OF PROPOSED 30' RIGHT-OF-WAY FENCING



TYPICAL LANDSCAPE AREA DETAIL
NOT TO SCALE

EXACT SHAPE AND LOCATIONS TO BE DETERMINED DURING DETAILED DESIGN PROCESS



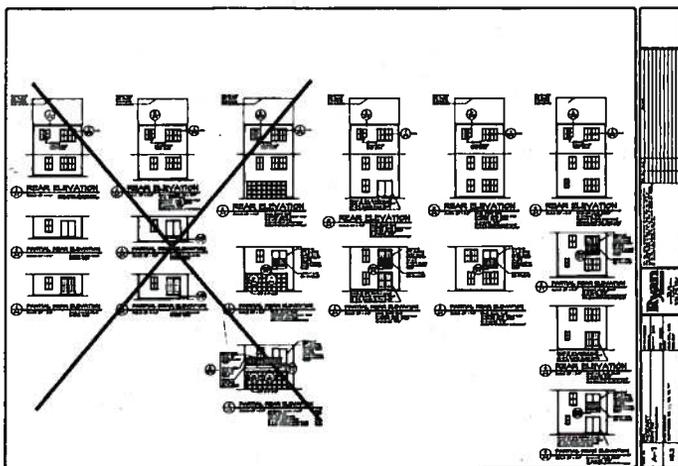
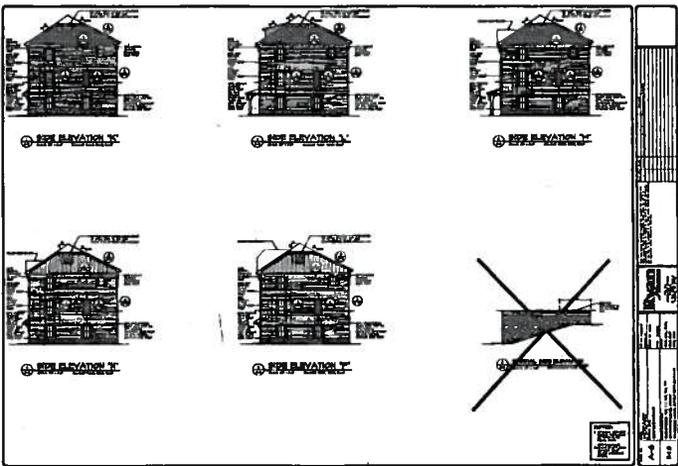
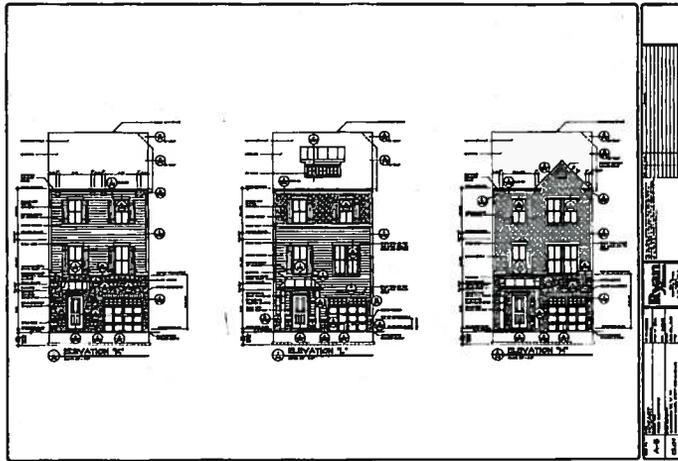
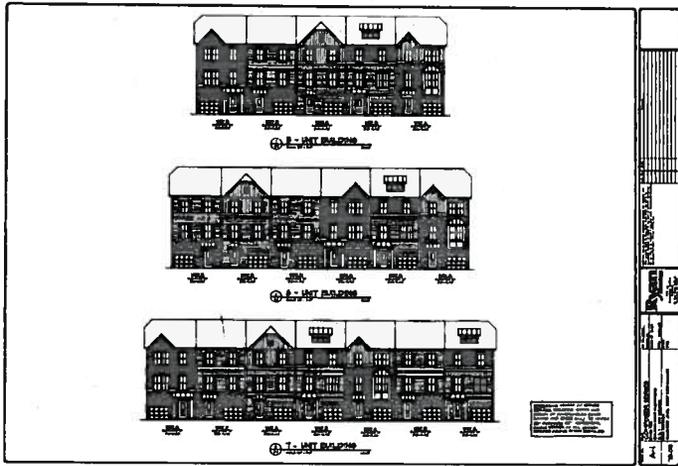
LEGEND

- PROPERTY BOUNDARY
- - - PROPOSED EASING LINE
- OPEN SPACE
- ▨ PAVEMENT
- ▧ IMPACTED PAVEMENTS
- ▩ INFLECT WATER
- - - PROPOSED WALKING TRAIL
- ▨ BIO-RETENTION AREAS

RECEIVED

MAY - 1 2014

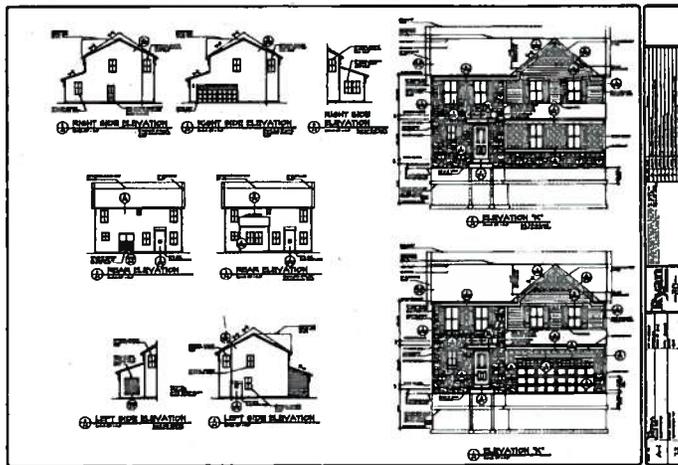
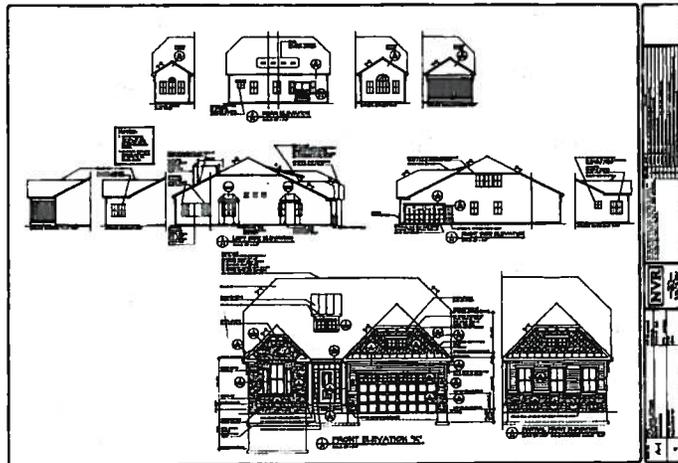
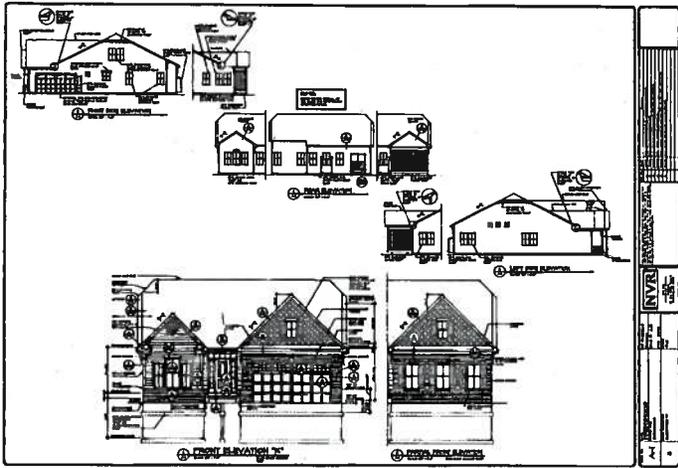
HANOVER COUNTY



POTENTIAL BUILDING ELEVATIONS
 HANOVER LAND INVESTORS PROPERTY
 THE MEADOWS AT BELL CREEK
 REZONING
 HANOVER COUNTY, VIRGINIA
 MECHANICSVILLE DISTRICT

RECEIVED

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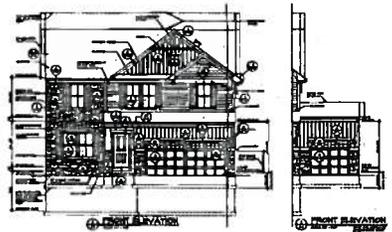
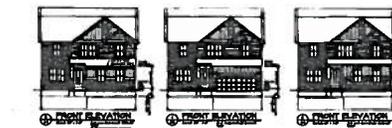


POTENTIAL BUILDING ELEVATIONS
 HANOVER LAND INVESTORS PROPERTY
 THE MEADOWS AT BELL CREEK
 REZONING
 HANOVER COUNTY, VIRGINIA
 MECHANICSVILLE DISTRICT

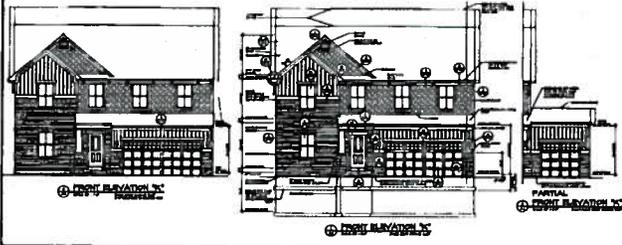
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SEPTEMBER 8, 2015

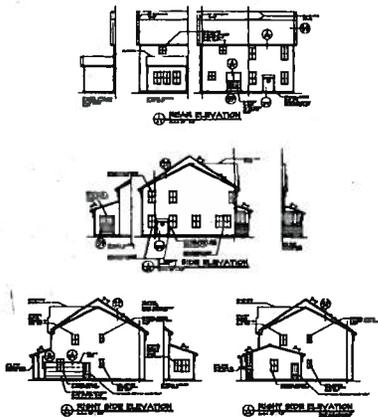
REVISIONS TO PUBLIC ELEVATIONS - 11/15/15



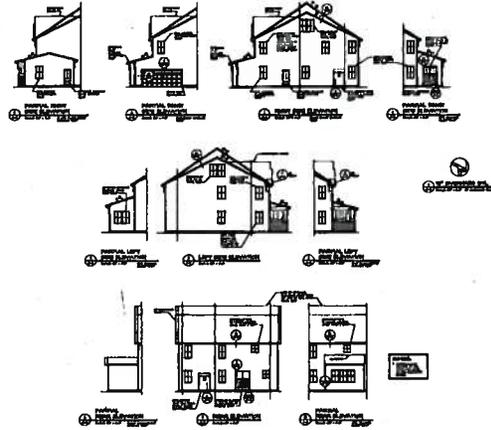
NVR	
DATE	10/1/18
SCALE	1/8" = 1'-0"
PROJECT	HANOVER COUNTY, VIRGINIA
NO.	1



NVR	
DATE	10/1/18
SCALE	1/8" = 1'-0"
PROJECT	HANOVER COUNTY, VIRGINIA
NO.	2



NVR	
DATE	10/1/18
SCALE	1/8" = 1'-0"
PROJECT	HANOVER COUNTY, VIRGINIA
NO.	3



NVR	
DATE	10/1/18
SCALE	1/8" = 1'-0"
PROJECT	HANOVER COUNTY, VIRGINIA
NO.	4

POTENTIAL BUILDINGS ELEVATIONS
 HANOVER LAND INVESTORS PROPERTY
 THE MEADOWS AT BELL CREEK
 REZONING
 HANOVER COUNTY, VIRGINIA
 MECHANICSVILLE DISTRICT