

SPR-9-15, Express Oil And Lube

Proffered Elevation/Site Plan Review

Mechanicsville Magisterial District

Administrative Agenda: 6:30 PM; November 19, 2015

Overview

Request	Proffered Elevation and Site Plan Review and Approval
Developer	Express Oil Change
Engineer	Balzer and Assoc.
Location Description	West line of Bell Creek Rd. (Rt. 642) approximately 1300' northwest of the intersection of Bell Creek Rd. (Rt. 642) and Cold Harbor Rd. (Rt. 156) – in the Home Depot parking lot.
GPIN(s)	8714-54-3486
Zoning	B-3
Associated Case(s)	C-46-87(c) AM 1-98
Staff Contact	Megan Dalzell

Executive Summary

As part of the proffered conditions in zoning case C-46-87(c) Am. 1-98, Commonwealth Investment Corporation, the Planning Commission is charged with the review and approval of the site plan and architectural elevations for the proposed Express Oil and Lube to be constructed in front of the existing Home Depot in the Hanover Square shopping center.

The proffers for the B-3 portion of Hanover Square state that the Commission is expected to review the layout for general conformity with the approved conceptual plan. In addition, the Commission shall review the proposed elevations to ensure there will be a harmonious architectural theme in accordance with the proffered architectural design and materials.

Photos of the existing structures in the immediate vicinity are also attached.

Staff Recommendation

While the proposed layout and elevations appear to be consistent with the proffered conditions and the approved elevations, the Planning Commission must specifically make that finding. Should the Commission choose to approve the layout and elevations, staff recommends the conditions as outlined in the staff report.

The proffers applicable to the B-3 portion from rezoning case C-46-87(c) Am. 1-98 are as follows:

A. Sketch Plan.

The sketch plan attached as Exhibit A shall be deemed a conceptual sketch plan. To effectively design the project, at the time of site plan or other detailed engineering, the Owner reserves the right to adjust building mass, outparcel locations, lot lines, and other minor amendments in accordance with Article 10, Section 7, of the Ordinance as approved by the Planning Commission. Preliminary site plans for individual parcels shall be reviewed for general conformity with the sketch plan. The location of other buildings and other structures, in addition to the home improvement store, shall be approved by the Planning Commission at the time of site plan review. The Owner reserves the right to adjust the number of outparcels, subject to the limitations set forth in Proffer K.

B. Architectural Treatment.

1. There shall be a harmonious architectural theme, as determined by the Planning Commission prior to site plan approval, for all buildings and other structures constructed on the Property generally in accordance with the architectural design shown on Exhibit B. Materials used on the Property may include brick, granite, marble, decorative block glass, architectural stone, architectural precast, architectural concrete, architectural block (including split face block), metal and curtain wall, architectural metals, or synthetic stucco. No portion of the building shall be constructed of unpainted concrete block or corrugated and/or sheet metal. The foregoing notwithstanding, nothing herein shall prevent an owner or tenant from using its national sign, logo or colors as part of its sign, so long as such sign, logo and colors are consistent with the requirements of Proffer L and the sign program.
2. On the out parcels, the architectural treatment for any wall facing a public right-of-way shall include architectural details, fenestration, or other method that will create architectural interest and not appear as a blank wall.
3. Visible exterior wall surfaces (whether front, sides, or rear) of each building shall be similar in architectural treatment and materials where visible from any public roadway or adjoining residential district.

Planning Analysis

The site plan presented for the Commissions' review is consistent with the proffered sketch plan and specifically the flexibility with the number of outparcels as outlined in proffer A. The proposed layout meets all Code requirements while the Home Depot site remains in conformance with current regulations. It should be noted that the parking regulations have changed since the Home Depot was originally developed which resulted in an overall reduction in the required number of required parking spaces for Home Depot and ultimately allowed for the creation of this new outparcel. Additionally, new landscaping will be installed which will improve the overall look of the shopping center. Vehicles being serviced will enter from the rear of the building and exit through the front overhead

doors. The three doors on the right side of the front will be utilized by employees only to bring vehicles into the building to be serviced. It should be noted that the proffer A stipulates the out parcels shall also be in compliance with Proffer K which relates to transportation improvements and density. This provision does not relate to review responsibility of the Planning Commission but rather is addressed as part of the site plan review process. The Director, using the required formula, has determined that the proposed development is in compliance with this proffer.

The elevations presented for the Commission's review are consistent with the Hanover Square Shopping Center and specifically with the Home Depot. Notably, the roof will be constructed with standing seam metal in Royal Blue which is one of the company's signature elements. As you will see in the attached photo of the Home Depot, their building was approved using their signature orange canopy. The drawings also show that the building will be constructed using red brick and split faced block painted gray. Although the Home Depot uses a cream-colored brick, the Hanover Square North retail center, directly across Bell Creek Rd. from the proposed building, utilizes red brick. The rooftop exhaust vents will be located on the side of the building that will face Home Depot and will not be visible from Bell Creek Road. The overhead doors will be mostly glass but with silver-gray metal above and below the windows. The HVAC equipment will be on the ground located within a structural enclosure that matches the building. These elevations show similar features previously approved and built in the Hanover Square Shopping Center.

Agency Analysis

There were no substantive comments from any of the reviewing agencies other than Planning.

Staff's Recommended Conditions

The Commission is being asked to make a determination as to the appropriateness of the layout and elevations of the proposed building in accordance with the proffers. Staff does not generally make recommendations on architectural elevations. We provide comments, but the Commission must make the official determination.

Should the Commission decide to approve the layout and building elevations, staff recommends the following listed conditions:

1. The building shall be constructed in substantial conformance with the color rendered elevations dated August 26, 2015, last revised September 21, 2015, titled "Express Oil Change, 7521 Bell Creek Road, Mechanicsville, VA", received in the Planning office on November 12, 2015, and prepared by Warner Architectural Associates and shall be in accordance with the color scheme, building materials and façade design noted on these approved elevations.
2. The site shall be developed in accordance with the site plan dated August 26, 2015, received in the Planning office on September 22, 2015, and prepared by Balzer and Associates. The developer shall obtain final site plan approval prior to the commencement of any work on this site.

Summary of Outstanding Issues

There are no outstanding issues regarding this request.

md/HTE

Attachments

- Application
- Parcel Map
- Zoning Map
- Blackline Elevations
- Color Elevations
- Site plan
- Approved Elevations Conceptual Plan
- Materials Samples
- Supplemental Photographs

**Hanover County,
Virginia**

General Parcel Map

Legend

- Roads
- Water
- Trees
- Private Road
- Structures
- Parcels

SPR-9-15

Express Oil and Lube

proffered layout and
elevation review

GPIN: 8714-54-3486 (part)
Mechanicsville Magisterial District



1 inch = 500 feet
October 27, 2015



Hanover County, Virginia

Zoning Map

Legend

— Roads	□ RS
— Water	□ R-1
- - - Private Road	□ R-2
□ Parcels	□ R-3
□ CUP	□ R-4
□ A-1	□ R-5
▨ PUD	□ R-6
▨ RRC	□ RM
▨ RR-1	□ MX
▨ RO-1	□ B-1
▨ PSC	□ B-2
▨ POB	□ B-3
▨ PMH	▨ B-4
▨ HE	□ O-S
□ AR-1	□ B-O
□ AR-2	□ M-1
□ AR-6	□ M-2
□ RC	□ M-3

SPR-9-15

Express Oil and Lube

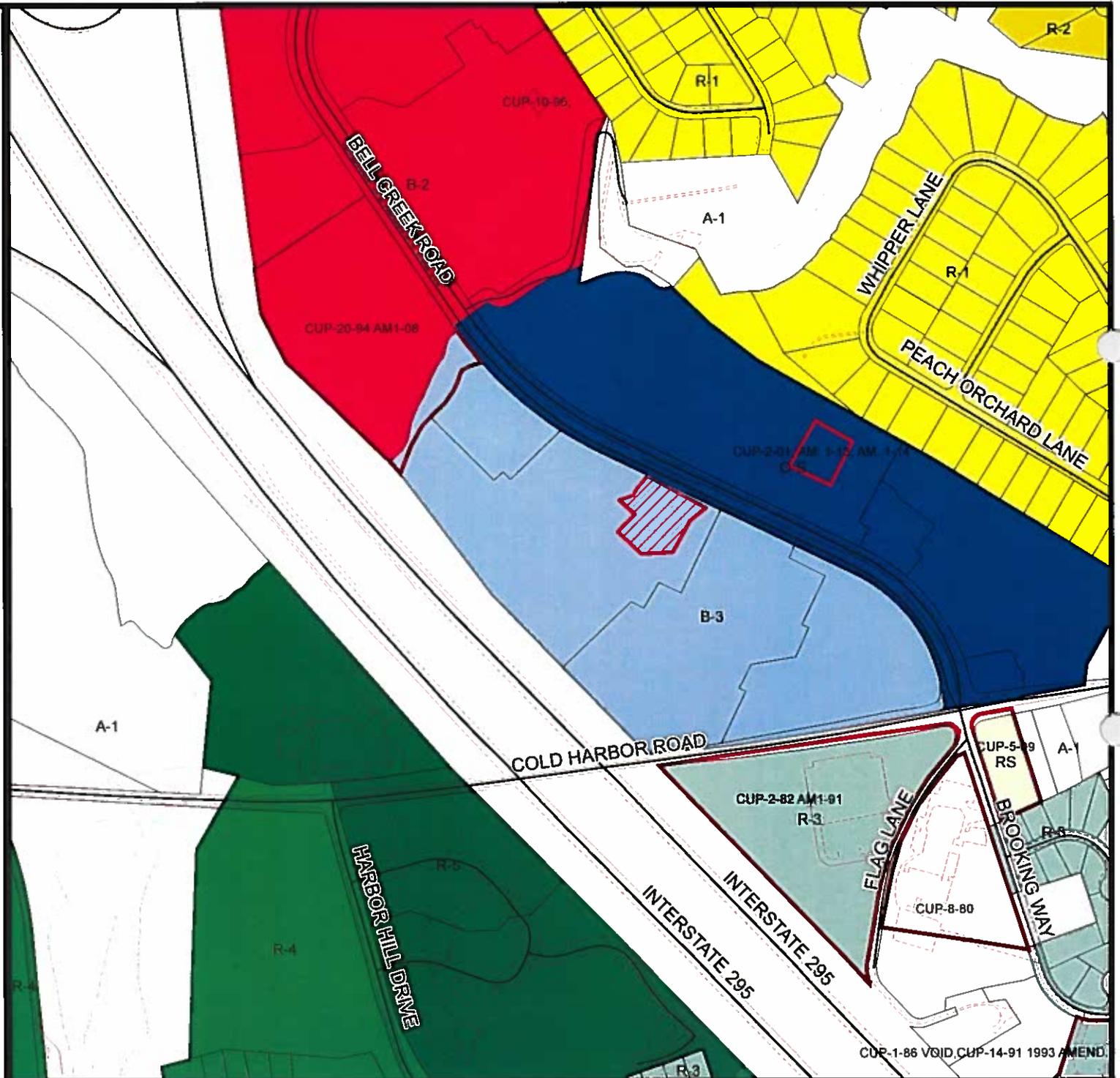
proffered layout and
elevation review

GPIN: 8714-54-3486 (part)
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1 inch = 500 feet

October 27, 2015





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 WWW.WARNERARCHASSOC.COM



7521 BELL CREEK RD
 MARIETTA, VA

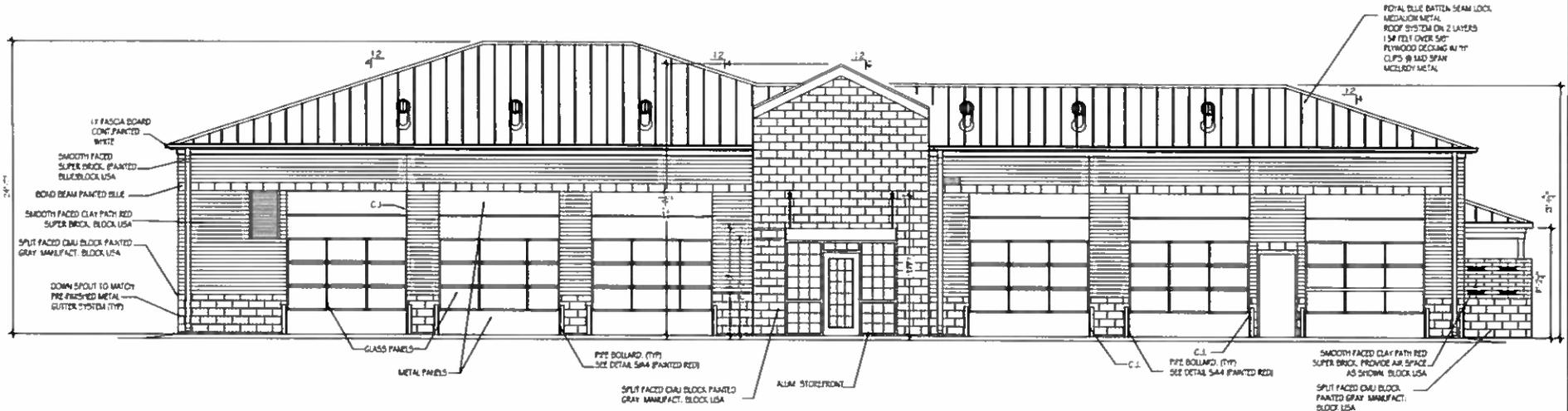


NO.	REVISIONS

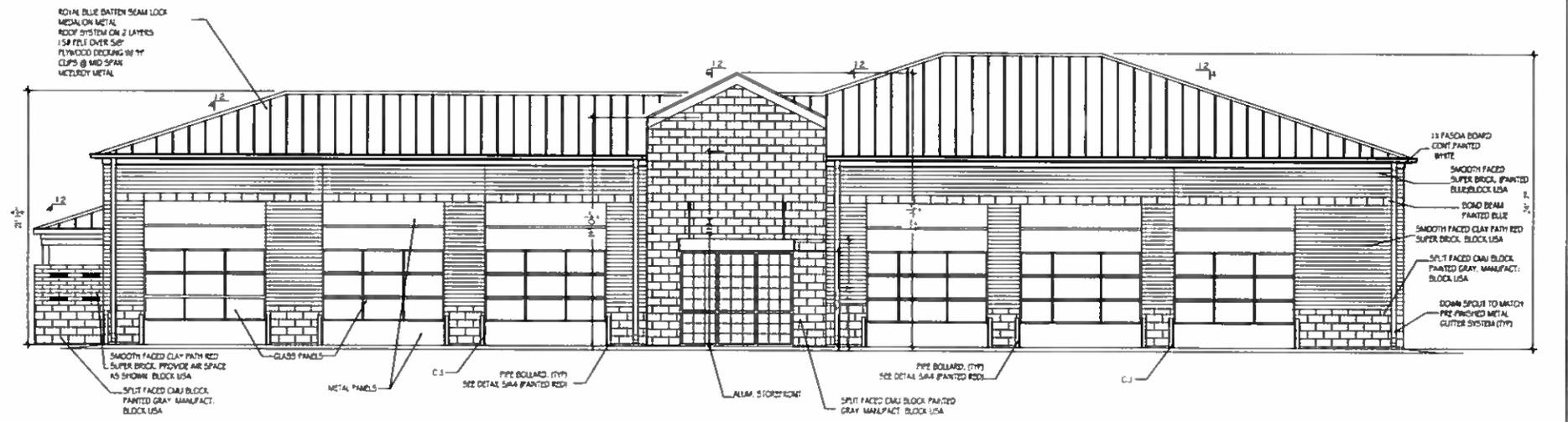
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 DATE: _____
 JOB NO: _____

BUILDING ELEVATIONS

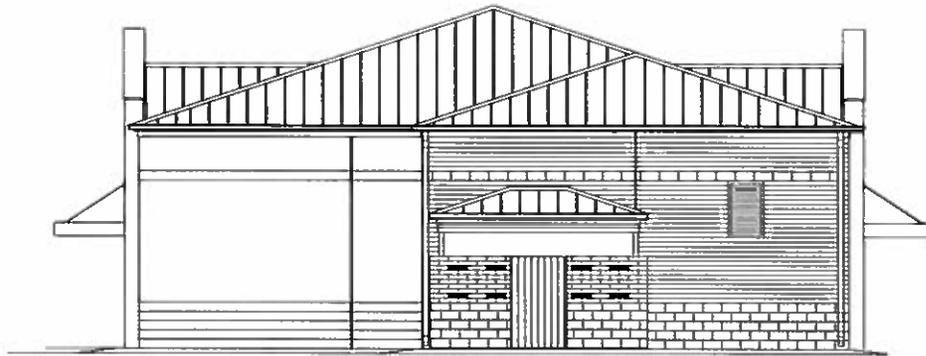
A3



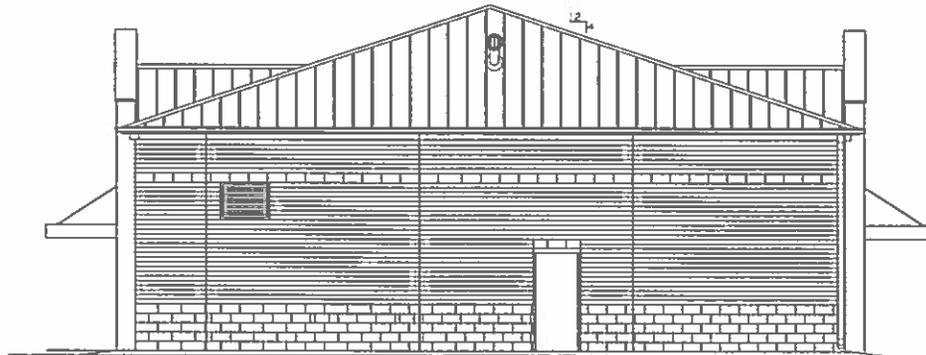
1
A3 FRONT ELEVATION (VIEW FROM HOME DEPOT)
 SCALE: 1/4" = 1' FOOT



2
A3 REAR ELEVATION (VIEW FROM BELL CREEK RD)
 SCALE: 1/4" = 1' FOOT



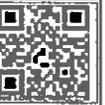
1 SIDE ELEVATION
SCALE: 1/4" = 1 FOOT



2 SIDE ELEVATION
SCALE: 1/4" = 1 FOOT



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7521 DILL CREEK RD
MECHANICSVILLE, VA



REVISIONS
NO. DATE BY
1 2.1.15 RW

DRAWN BY: RW
CHECKED BY: WW
DATE:
CDS NO:

BUILDING ELEVATIONS

A3.1



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7831 BELL CREEK RD
 MARIETTA, VA



REVISIONS:

NO.	DATE	DESCRIPTION
1	9.21.15	PLAN

DESIGNED BY: RW
 CHECKED BY: MW
 DATE:
 JOB NO.:

BUILDING ELEVATIONS

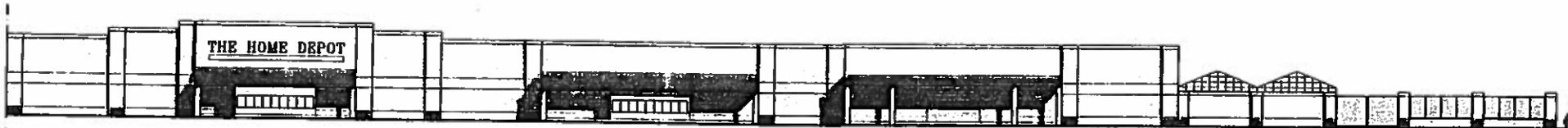
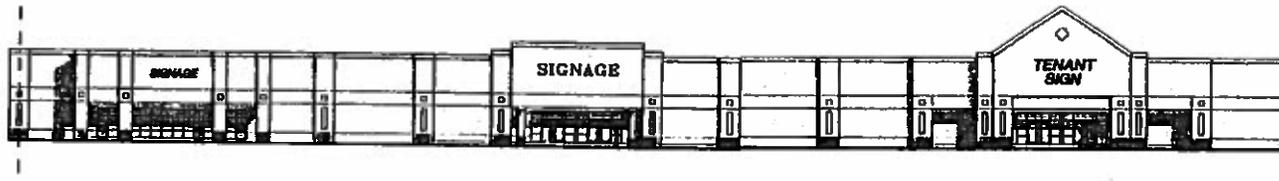
A3



1 FRONT ELEVATION (VIEW FROM HOME DEPOT)
 A3 SCALE: 1/4" = 1 FOOT



2 REAR ELEVATION (VIEW FROM BELL CREEK RD)
 A3 SCALE: 1/4" = 1 FOOT



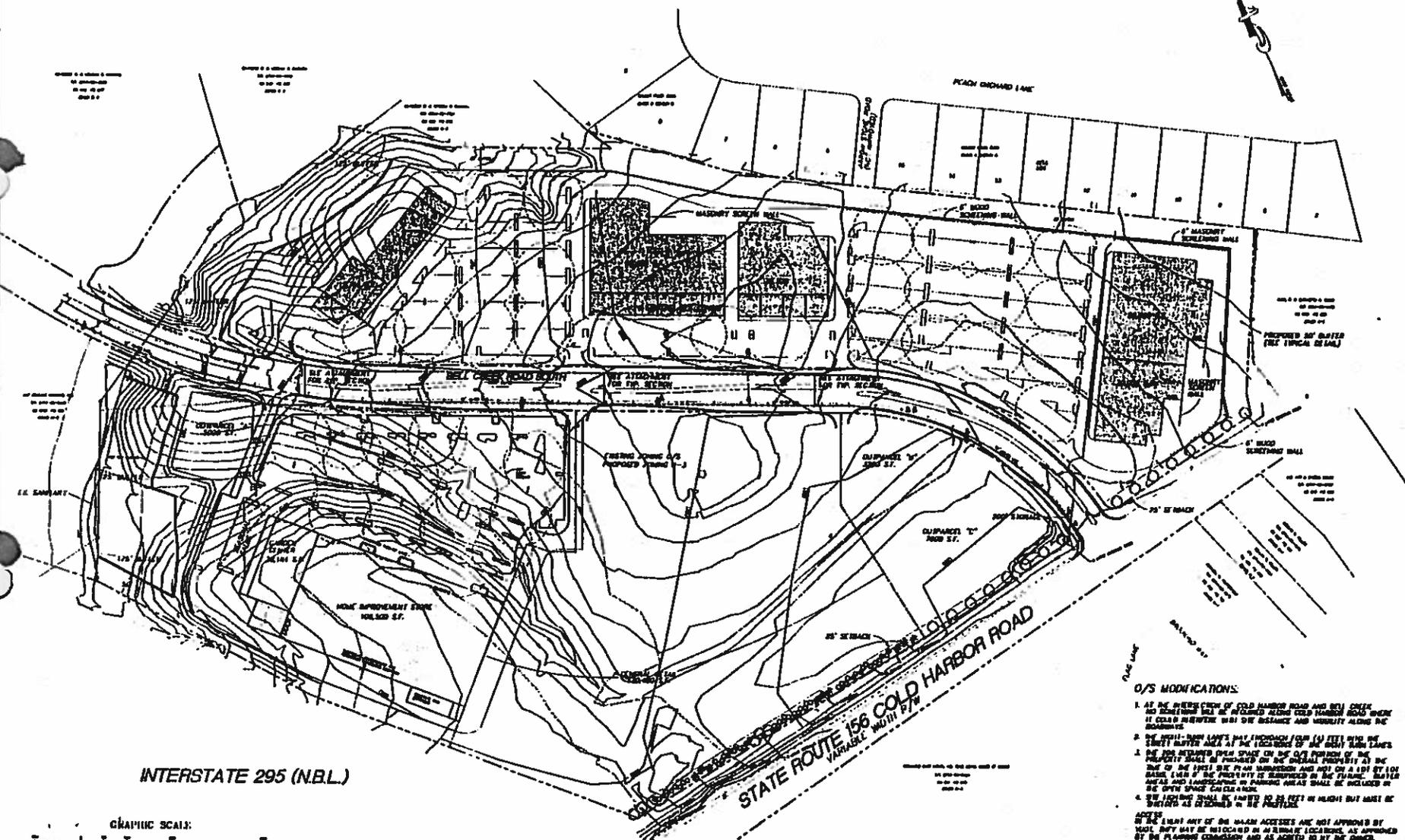
HANOVER SQUARE SOUTH
HANOVER COUNTY VIRGINIA



EXHIBIT B

SQUARE FOOTAGE TABULATION:

HOME IMPROVEMENT STORE:	104,500 SF
GARDEN CENTER:	28,194 SF
GENERAL RETAIL:	117,204 SF
COURTYARD "A":	3,000 SF
COURTYARD "B":	3,000 SF
COURTYARD "C":	3,000 SF
TOTAL:	258,900 SF



INTERSTATE 295 (N.B.L.)

STATE ROUTE 156 COLD HARBOR ROAD
VARIABLE WIDTH 17'0"



- O/S MODIFICATIONS:**
1. AT THE INTERSECTION OF COLD HARBOR ROAD AND BELT CREEK NO SCREENING WALL BE REQUIRED ALONG COLD HARBOR ROAD WHEN IT CROSS BELT CREEK WITH 50' BUFFER AND VISIBILITY ALONG THE ROADSIDE.
 2. THE 20' BUFFER LIMIT SHALL PROCEED FROM (A) THE END OF THE 10' BUFFER AREA AT THE LOCATION OF THE EXISTING SIGN LIGHTS.
 3. THE 20' BUFFER FROM SPACE ON THE O/S PORTION OF THE PROPERTY SHALL BE PROVIDED ON THE ORIGINAL PROPERTY AT THE END OF THE 10' BUFFER PLAN NUMBERED AND NOT ON A 10' BY 10' BASIS (WHEN THE PROPERTY IS SURVEYED IN THE FUTURE). BUFFER SPACES AND LANDSCAPING IN PARKING AREAS SHALL BE INCLUDED IN THE OPEN SPACE CALCULATION.
 4. THE LIGHTING SHALL BE LIMITED TO 20 FEET IN HEIGHT BUT MUST BE VISIBLE AS IT RELATES TO THE FACILITY.
- NOTES:**
IF THE EXIST ANY OF THE SHOWN ACCESS ARE NOT APPROVED BY THE CITY MAY BE RELOCATED IN AN ALTERNATE LOCATION, AS APPROVED BY THE PLANNING COMMISSION AND AS AGREED TO BY THE OWNER.

DEVELOPER:
COMMERCIAL INVESTMENT REAL ESTATE COMPANY

JIMMONS ENGINEERS • ARCHITECTS • SURVEYORS • LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS • GEOGRAPHIC INFORMATION SYSTEMS CONSULTANTS • CONSTRUCTION MANAGERS

DATE: 1/22/98
DRAWN BY: B. JONES
CHECKED BY: B. JONES
SCALE: 1"=100'

HANOVER SQUARE SOUTH
ARCHITECTURAL DISTRICT • HANOVER COUNTY, VIRGINIA
OVERALL SITE PLAN & O/S SITE DEVELOPMENT CONCEPT PLAN

SHEET NO. 1 OF 1
DATE: 17757