

SPR-11-15, Atlee Wendy's (Rutland)

Proffered Elevation

Chickahominy Magisterial District

Administrative Agenda: 6:30PM; November 19, 2015

Overview

Request	Proffered Elevation Review and Approval
Developer	Mertiage Hospitality
Engineer	Silvercore Land Development Consultants
Location Description	West line of Future Atlee Road approximately 1,000 feet, northwest of the intersection of Chamberlayne Road (Route 301) and Atlee Road (Route 638).
GPIN(s)	8706-03-9339
Zoning	B-3
Associated Case(s)	C-20-04(c)
Staff Contact	Ryan Fletcher

Executive Summary

As part of the proffered conditions in zoning case C-20-04(c), the Planning Commission is charged with the review and approval of architectural elevations for the proposed Wendy's in the Rutland Commons development. The proffers for the B-3 Commercial section of the development state that the Commission is expected to review these plans with regard to their compatibility with the surrounding development as well as their architectural treatment and usage of materials and design implements.

Staff Recommendation

While the proposed elevations appear to be consistent with the proffered conditions and the approved elevations, the Planning Commission must specifically make that finding. Should the Commission choose to approve the elevations staff recommends the conditions as outlined in the staff report.

Background

C-20-04(c) – the applicable proffers are as follows:

Applicable to B-3 Zoned Property

2. **Architecture.** The building elevations shall be in substantial conformity with the architectural drawings titled “Crescent Retail Cavalin – Timberlake,” prepared by Baskerville. The B-3 zoned property shall be developed with a unified architectural theme. Retail tenants will be permitted to include prototypical or corporate identification architectural elements in the design of their buildings or space. The standard of compatibility may be met through scale, materials, forms, and/or colors which may be embodied in architecture that is colonial as well as traditional. Retail and business structures shall be designed to meet the following general standards: elevations of proposed structures shall be submitted to the Planning Commission for review and approval prior to final approval of site or subdivision plan for any structure in the commercial component of the project; adjacent facades will be compatible with each other with architectural features being continued whenever they can be observed by the public from within the project or from public roads and adjacent properties (but not on the façade adjacent to the railroad except as provided below), and architectural features such as setbacks, changes in building materials, and canopies or differences in roof height will be used to add visual interest; exterior walls fronting a promenade will not exceed one hundred (100) feet in length without altering the appearance of the building(s) by using a mixture of compatible building materials or, alternatively, by providing a variance in façade of at least two (2) feet. To the extent the façade adjacent to the railroad can be seen from any residential property on the south side of the railroad, that portion of the façade which is visible shall, at the option of the Property Owner, either be screened from view from the adjacent homes through the use of vegetation or the Property Owner shall continue the architectural features on the façade adjacent to the railroad.
3. **Materials.** Building materials utilized for the front and side facades of the buildings shall be limited to brick, split-face block, metal, fluted block, tile, concrete tile, dry-vit or other simulated stucco (E.I.F.S.), real or simulated wood and/or glass. Metal may be used for not more than fifteen (15) percent of front and side building façade materials, exclusive of window frames and door frames. Standard concrete masonry block shall not be used for the front and side facades of any building.

Planning Analysis

The elevations presented for this review are consistent with proffer 2 approved with the zoning. They show that the architect has incorporated many of the afore referenced building materials of proffer 3 as well as the architectural features from proffer 2 into the proposed building facades for the Wendy's. These elevations are very similar to the elevations previously approved and built in the Rutland Commons development specifically the existing Dunkin Donuts (Picture Attached as Exhibit 1). Additionally, the proposed colors and materials of the Wendy's recall similar usage of colors and materials in nearby developments such as the existing Rutland Commons development. The proposed "Belden Mojave Blend" brick with tan mortar, "cream" E.I.F.S., "cream" metal trim and break metal, "dark bronze" metal trim and break metal, will closely match the existing buildings in the Rutland Commons development closest to the proposed Wendy's (Picture Attached as Exhibit 2). The proposed Wendy's appears to be utilizing similar architecture and building materials making it compatible with the existing adjacent facades.

Attachments include a color rendering of the proposed elevations, a black-line copy of the elevations with the building materials labeled and the proposed site plan layout. The color rendering of the proposed building does not provide precise enough detail to adequately represent the appearance of the brick façade. The brick façade is most accurately represented on the black-line copy of the elevations and on the on the insert which appears on the elevation. The applicant has also provided a sample of the brick to be used.

Agency Analysis

There were no substantive comments from any of the reviewing agencies.

Staff's Recommended Conditions

The Commission is being asked to make a determination as to the appropriateness of the elevations of the proposed building in accordance with the proffers. It should be noted that Staff does not generally make recommendations on architectural materials. We provide comments, but the Commission must make the official determination.

Should the Commission decide to approve the building elevations, staff recommends the following listed conditions:

1. The building shall be constructed in substantial conformance with the black line architectural elevations dated April 11, 2015 and revised September 28, 2015 as well as the color rendered elevations, both titled Wendy's, received in the Planning office on November 5, 2015 and prepared by Innovative Design P.C., Site, Building, and Interior Design, and shall be in accordance with the color scheme, building materials and facade design noted on these approved elevations.
2. The developer shall obtain final site plan approval prior to the commencement of any work on this site.

Summary of Outstanding Issues

There are no outstanding issues regarding this request.

CRF/HTE

Attachments

- Application
- Parcel Map
- Zoning Map
- Site Plan Layout
- Blackline Elevations
- Color Elevations
- Approved Elevations Conceptual Plan
- Supplemental Photographs
- Materials Samples* Available for viewing at the meeting*

**Hanover County,
Virginia**

General Parcel Map

Legend

- Roads
- Water
- Trees
- - - Private Road
- Structures
- Parcels

SPR-11-15

Wendy's

elevation review

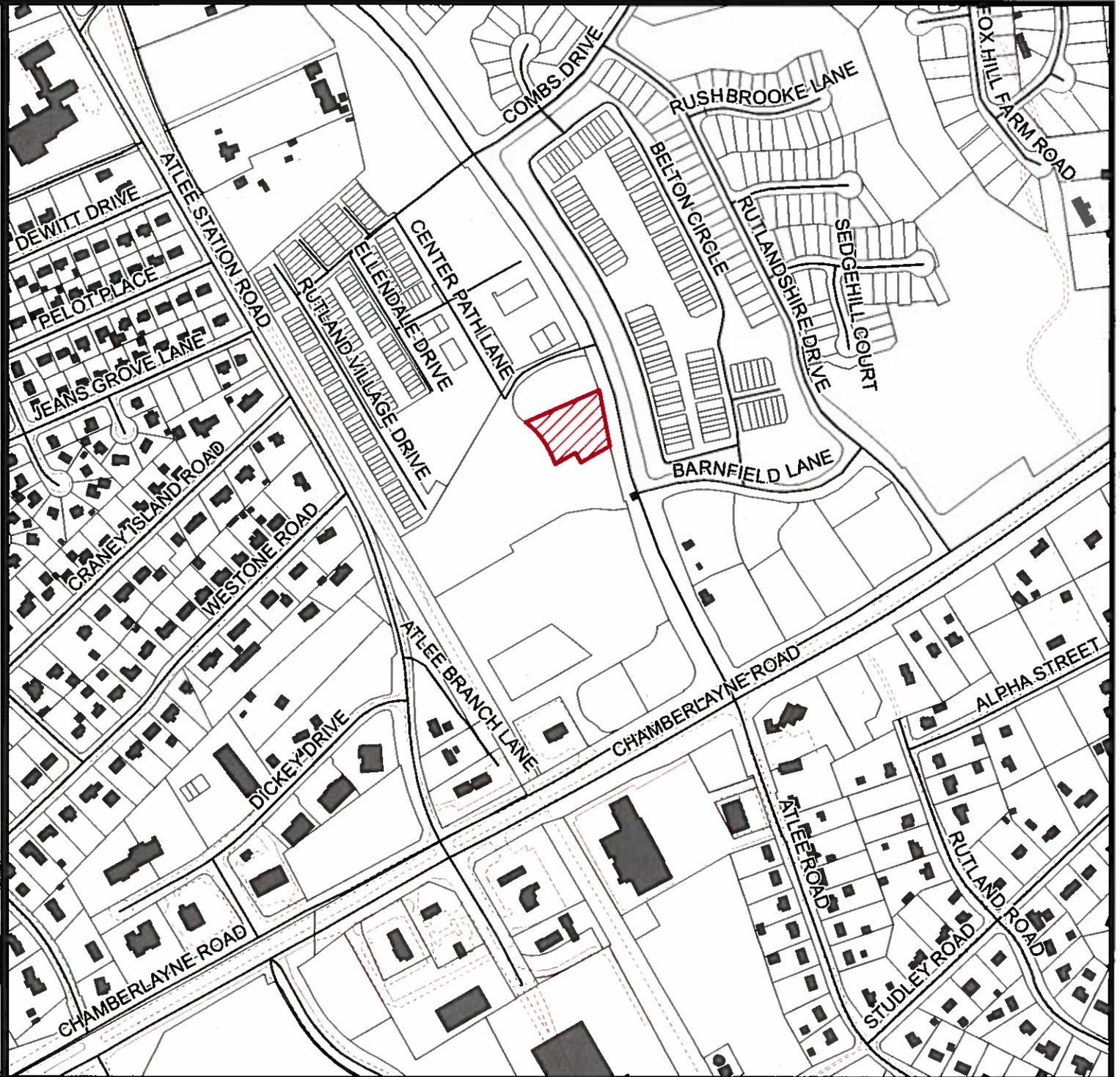
GPIN: 8706-03-9339

Chickahominy Magisterial District



1 inch = 500 feet

September 21, 2015



Hanover County, Virginia

Zoning Map

Legend

— Roads	□ RS
Water	■ R-1
--- Private Road	■ R-2
□ Parcels	■ R-3
□ CUP	■ R-4
□ A-1	■ R-5
▨ PUD	■ R-6
▨ RRC	■ RM
▨ RR-1	■ MX
▨ RO-1	■ B-1
▨ PSC	■ B-2
▨ POB	■ B-3
▨ PMH	▨ B-4
▨ HE	■ O-S
■ AR-1	■ B-O
■ AR-2	■ M-1
■ AR-6	■ M-2
■ RC	■ M-3

SPR-11-15

Wendy's

elevation review

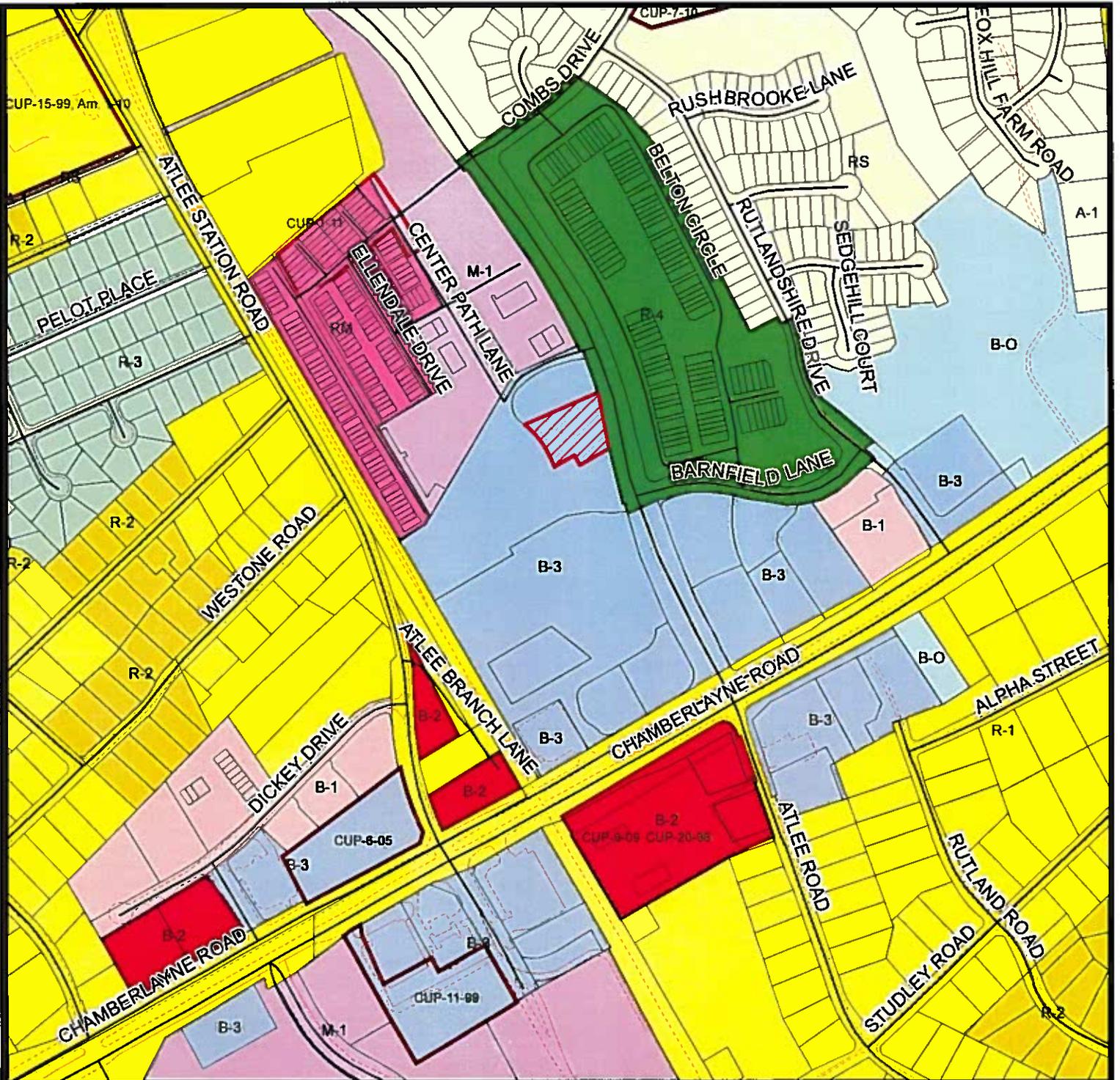
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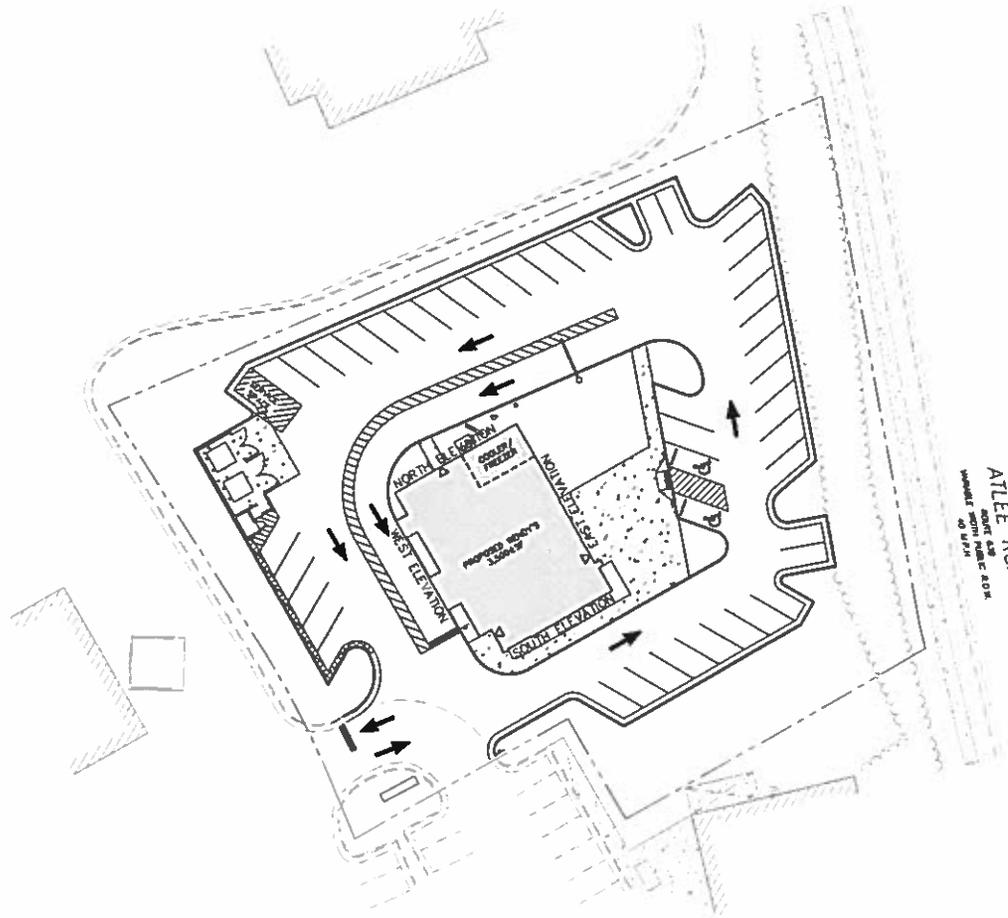
Chickahominy Magisterial District



1 inch = 500 feet

September 21, 2015





ATLEE ROAD
 NORTH SIDE
 NORTH PUBLIC ADM.
 10' WIDE

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SPR-11-15
 HTE 15-3000023



**ATLEE WENDYS
 LAYOUT PLAN**

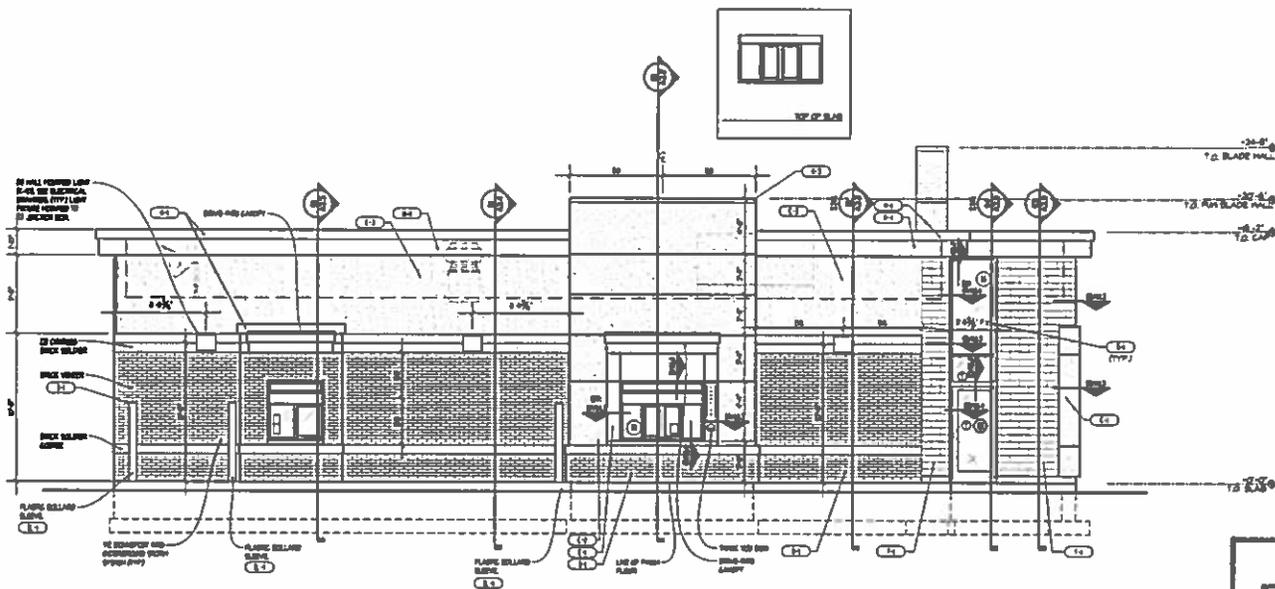
CHICKANOMY DISTRICT HANOVER COUNTY, VIRGINIA

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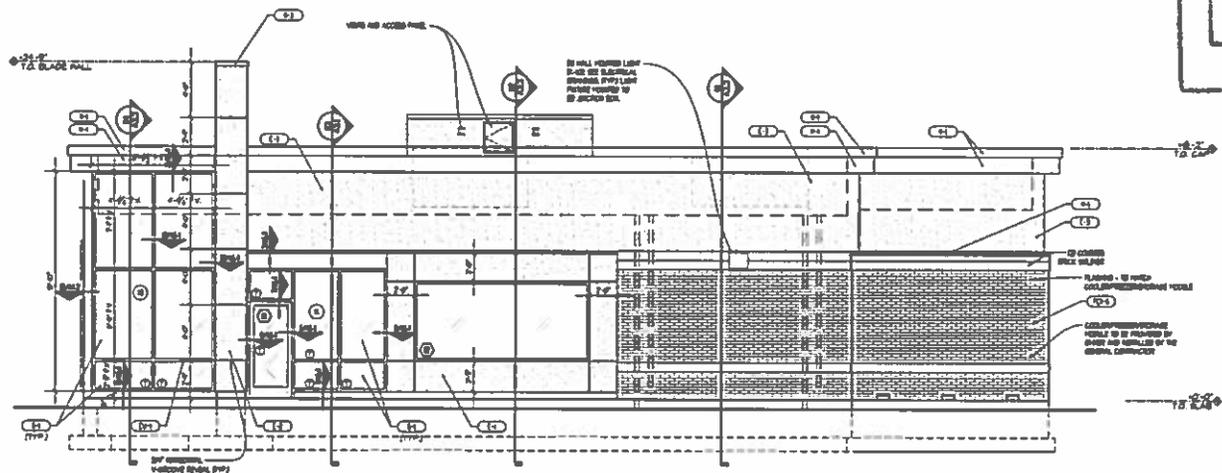
DESIGN CONTACT: Steve King
 DRAWING SCALE: 1/4" = 1'-0"
 DATE: 11/4/2015

SHEET
3

JOB #: 150095



02 LEFT ELEVATION
SCALE: 1/8" = 1'-0"



01 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES LEGEND

- NOTE: REFER TO SHEET FOR SPECIFICATIONS OF FINISHES, MATERIALS AND PRODUCTS.
- (A) 10' BRICK
 - (B) BRICK
 - (C) BELLARY SLAB FINISH
 - (D) EXTERIOR BELLARY FINISH FROM SPINER E.L.F.S.J. - VENEER'S BRICK
 - (E) EXTERIOR BELLARY FINISH FROM SPINER E.L.F.S.J. - VENEER'S BRICK
 - (F) EXTERIOR BELLARY FINISH FROM SPINER E.L.F.S.J. - VENEER'S BRICK
 - (G) EXTERIOR BELLARY FINISH FROM SPINER E.L.F.S.J. - VENEER'S BRICK
 - (H) EXTERIOR BELLARY FINISH FROM SPINER E.L.F.S.J. - VENEER'S BRICK
 - (I) EXTERIOR BELLARY FINISH FROM SPINER E.L.F.S.J. - VENEER'S BRICK
 - (J) EXTERIOR BELLARY FINISH FROM SPINER E.L.F.S.J. - VENEER'S BRICK
 - (K) EXTERIOR BELLARY FINISH FROM SPINER E.L.F.S.J. - VENEER'S BRICK
 - (L) EXTERIOR BELLARY FINISH FROM SPINER E.L.F.S.J. - VENEER'S BRICK
 - (M) EXTERIOR BELLARY FINISH FROM SPINER E.L.F.S.J. - VENEER'S BRICK
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 - (P) EXTERIOR BELLARY FINISH FROM SPINER E.L.F.S.J. - VENEER'S BRICK
 - (Q) EXTERIOR BELLARY FINISH FROM SPINER E.L.F.S.J. - VENEER'S BRICK
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 - (S) EXTERIOR BELLARY FINISH FROM SPINER E.L.F.S.J. - VENEER'S BRICK
 - (T) EXTERIOR BELLARY FINISH FROM SPINER E.L.F.S.J. - VENEER'S BRICK
 - (U) EXTERIOR BELLARY FINISH FROM SPINER E.L.F.S.J. - VENEER'S BRICK
 - (V) EXTERIOR BELLARY FINISH FROM SPINER E.L.F.S.J. - VENEER'S BRICK
 - (W) EXTERIOR BELLARY FINISH FROM SPINER E.L.F.S.J. - VENEER'S BRICK
 - (X) EXTERIOR BELLARY FINISH FROM SPINER E.L.F.S.J. - VENEER'S BRICK
 - (Y) EXTERIOR BELLARY FINISH FROM SPINER E.L.F.S.J. - VENEER'S BRICK
 - (Z) EXTERIOR BELLARY FINISH FROM SPINER E.L.F.S.J. - VENEER'S BRICK

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PROJECT NUMBER	2015
BASE MODEL	EXTERIOR
PROJECT TYPE	FRANCHISE
CLASSIFICATION	NEW
OWNER	OWNER'S NAME
DATE REVISION	2015 OCT 09 03
UPONOR CLASSIFICATION	
PROJECT NAME	
FURNITURE PACKAGE	2015
DESIGN BULLETIN	THRU 03 03

Innovative Design P.C.
 500 S. Raleigh Blvd
 Cary, NC 27513
 Phone: 919.487.1111
 Email: cwa@innovativedesignpc.com



Wendy's
 Wendy's Global Operations
 10000 Old York Road
 Hunt Valley, MD 21086

DATE	
TIME	
BY	
FOR	
PROJECT NUMBER	
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EXTERIOR ELEVATIONS

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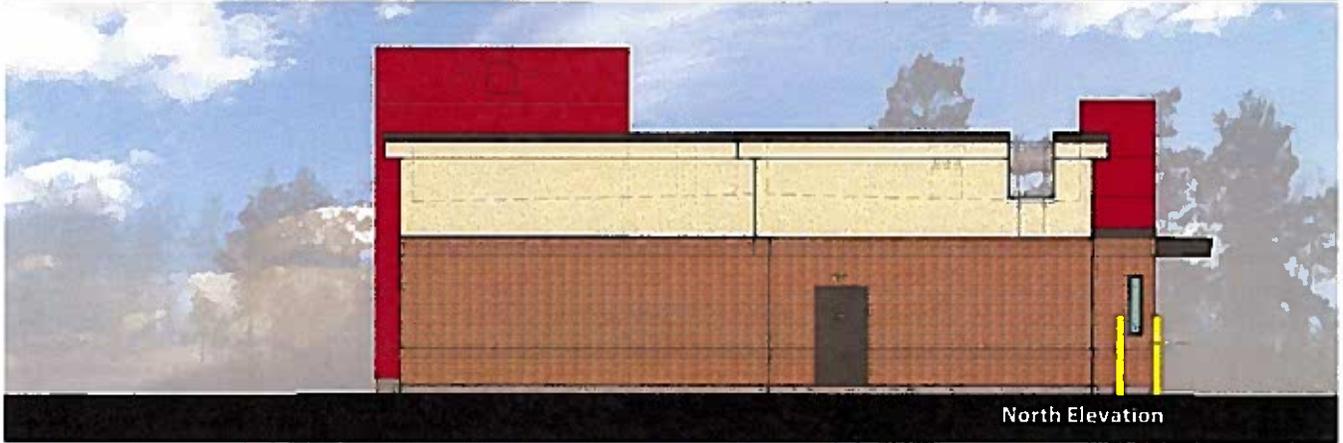
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West Elevation



North Elevation



East Elevation - View from Atlee Road



Brick
Belden Mojave Blend

South Elevation